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Applications cannot be validated until all the necessary documentation has been submitted and the required fee has been paid.

Thank you for completing this application form:

ONLINE REFERENCE 100723498-001

The online reference is the unique reference for your online form only. The Planning Authority will allocate an Application Number when your form is validated. Please quote this reference if you need to contact the planning Authority about this application.

Applicant or Agent Details

Are you an applicant or an agent? * (An agent is an architect, consultant or someone else acting on behalf of the applicant in connection with this application)

☐ Applicant ☒ Agent

Agent Details

Please enter Agent details

Company/Organisation:	Ryden LLP		
Ref. Number:		You must enter a Building Name or Number, or both: *	
First Name: *	Robert	Building Name:	
Last Name: *	Evans	Building Number:	7
Telephone Number: *	0131 473 3201	Address 1 (Street): *	Exchange Crescent
Extension Number:		Address 2:	Conference Square
Mobile Number:		Town/City: *	Edinburgh
Fax Number:		Country: *	United Kingdom
		Postcode: *	EH3 8AN
Email Address: *	robert.evans@ryden.co.uk		

Is the applicant an individual or an organisation/corporate entity? *

☒ Individual ☐ Organisation/Corporate entity

Applicant Details

Please enter Applicant details

Title:	Ms	You must enter a Building Name or Number, or both: *	
Other Title:		Building Name:	c/o Ryden LLP
First Name: *	J	Building Number:	7
Last Name: *	Maude	Address 1 (Street): *	Exchange Crescent
Company/Organisation		Address 2:	Conference Square
Telephone Number: *		Town/City: *	Edinburgh
Extension Number:		Country: *	United Kingdom
Mobile Number:		Postcode: *	EH38AN
Fax Number:			
Email Address: *	simon.wasser@ryden.co.uk		

Site Address Details

Planning Authority:	Perth and Kinross Council
Full postal address of the site (including postcode where available):	
Address 1:	BOAT OF MURTHLY
Address 2:	
Address 3:	
Address 4:	
Address 5:	
Town/City/Settlement:	DUNKELD
Post Code:	PH8 0JA

Please identify/describe the location of the site or sites

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Northing	739793	Easting	306223
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Description of Proposal

Please provide a description of your proposal to which your review relates. The description should be the same as given in the application form, or as amended with the agreement of the planning authority: *
(Max 500 characters)

Alterations and extension to dwellinghouse, erection of a garage and plant building, installation of a retaining wall, alterations and extension to access road, formation of patio and associated works.

Type of Application

What type of application did you submit to the planning authority? *

- ☒ Application for planning permission (including householder application but excluding application to work minerals).
- ☐ Application for planning permission in principle.
- ☐ Further application.
- ☐ Application for approval of matters specified in conditions.

What does your review relate to? *

- ☒ Refusal Notice.
- ☐ Grant of permission with Conditions imposed.
- ☐ No decision reached within the prescribed period (two months after validation date or any agreed extension) – deemed refusal.

Statement of reasons for seeking review

You must state in full, why you are seeking a review of the planning authority's decision (or failure to make a decision). Your statement must set out all matters you consider require to be taken into account in determining your review. If necessary this can be provided as a separate document in the 'Supporting Documents' section: * (Max 500 characters)

Note: you are unlikely to have a further opportunity to add to your statement of appeal at a later date, so it is essential that you produce all of the information you want the decision-maker to take into account.

You should not however raise any new matter which was not before the planning authority at the time it decided your application (or at the time expiry of the period of determination), unless you can demonstrate that the new matter could not have been raised before that time or that it not being raised before that time is a consequence of exceptional circumstances.

See Grounds for Review Statement.

Have you raised any matters which were not before the appointed officer at the time the Determination on your application was made? *

☐ Yes ☒ No

If yes, you should explain in the box below, why you are raising the new matter, why it was not raised with the appointed officer before your application was determined and why you consider it should be considered in your review: * (Max 500 characters)

Please provide a list of all supporting documents, materials and evidence which you wish to submit with your notice of review and intend to rely on in support of your review. You can attach these documents electronically later in the process: * (Max 500 characters)

Grounds for Review Statement and full planning submission under reference 25/00806/FLL Full List of Documents attached

Application Details

Please provide the application reference no. given to you by your planning authority for your previous application.

25/00806/FLL

What date was the application submitted to the planning authority? *

30/05/2025

What date was the decision issued by the planning authority? *

15/08/2025

Review Procedure

The Local Review Body will decide on the procedure to be used to determine your review and may at any time during the review process require that further information or representations be made to enable them to determine the review. Further information may be required by one or a combination of procedures, such as: written submissions; the holding of one or more hearing sessions and/or inspecting the land which is the subject of the review case.

Can this review continue to a conclusion, in your opinion, based on a review of the relevant information provided by yourself and other parties only, without any further procedures? For example, written submission, hearing session, site inspection. *

☐ Yes ☒ No

Please indicate what procedure (or combination of procedures) you think is most appropriate for the handling of your review. You may select more than one option if you wish the review to be a combination of procedures.

Please select a further procedure *

By means of inspection of the land to which the review relates

Please explain in detail in your own words why this further procedure is required and the matters set out in your statement of appeal it will deal with? (Max 500 characters)

An accompanied site inspection is required to examine the internal layout of the property.

In the event that the Local Review Body appointed to consider your application decides to inspect the site, in your opinion:

Can the site be clearly seen from a road or public land? *

☐ Yes ☒ No

Is it possible for the site to be accessed safely and without barriers to entry? *

☒ Yes ☐ No

If there are reasons why you think the local Review Body would be unable to undertake an unaccompanied site inspection, please explain here. (Max 500 characters)

The proposal includes internal alterations to the listed building. Access is required by the owner.

Checklist – Application for Notice of Review

Please complete the following checklist to make sure you have provided all the necessary information in support of your appeal. Failure to submit all this information may result in your appeal being deemed invalid.

Have you provided the name and address of the applicant?. *

☒ Yes ☐ No

Have you provided the date and reference number of the application which is the subject of this review? *

☒ Yes ☐ No

If you are the agent, acting on behalf of the applicant, have you provided details of your name and address and indicated whether any notice or correspondence required in connection with the review should be sent to you or the applicant? *

☒ Yes ☐ No ☐ N/A

Have you provided a statement setting out your reasons for requiring a review and by what procedure (or combination of procedures) you wish the review to be conducted? *

☒ Yes ☐ No

Note: You must state, in full, why you are seeking a review on your application. Your statement must set out all matters you consider require to be taken into account in determining your review. You may not have a further opportunity to add to your statement of review at a later date. It is therefore essential that you submit with your notice of review, all necessary information and evidence that you rely on and wish the Local Review Body to consider as part of your review.

Please attach a copy of all documents, material and evidence which you intend to rely on (e.g. plans and Drawings) which are now the subject of this review *

☒ Yes ☐ No

Note: Where the review relates to a further application e.g. renewal of planning permission or modification, variation or removal of a planning condition or where it relates to an application for approval of matters specified in conditions, it is advisable to provide the application reference number, approved plans and decision notice (if any) from the earlier consent.

Declare – Notice of Review

I/We the applicant/agent certify that this is an application for review on the grounds stated.

Declaration Name: Mr Robert Evans

Declaration Date: 10/11/2025

Payment Details

Online payment: 010446

Payment date: 10/11/2025 11:13:12

Created: 10/11/2025 11:13

List of Documents Submitted with Local Review Body Appeal – Boat of Murthly, Dunkeld

Original PA Reference: 25/00806/FLL

Original Eplanning Reference: 100714653-001

1. Statement of Appeal;
2. Application Form;
3. Decision Notice 15th August 2025;
4. Delegated Report;
5. External Consultation from HES;
6. Consultee Response - Conservation;
7. Conservation Officer Comments - Addendum;
8. Supporting Cover Letter Response;
9. Design & Access Statement with Schedule of Works;
10. Existing Ground Floor Plan;
11. Existing First Floor Plan;
12. Existing Elevations;
13. Existing North Elevation;
14. Existing & Proposed Ground Floor Details;
15. Existing & Proposed Dining Room Layouts and Details;
16. Existing & Proposed Loggia Door & Window Details;
17. Existing & Proposed Window Type Details;
18. Existing & Proposed Door Details;
19. Existing Roof Plan;
20. Existing Site Plan Downtakings;
21. Existing Site Plan;
22. Location Plan;
23. Lounge Room Layout & Details;
24. Heritage Statement;
25. Flood Risk Assessment & Drainage;
26. Proposed South & East Elevations;
27. Revised Existing & Proposed Astragal Profiles;
28. Revised Proposed First Floor Plan;
29. Revised Proposed Ground Floor Plan;
30. Revised Proposed North & West Elevations;
31. Revised Proposed Roof Plan;
32. Revised Proposed Site Plan;
33. Superseded Existing & Proposed Astragal Profiles;
34. Superseded Proposed First Floor Plan;
35. Superseded Proposed Ground Floor Plan;
36. Superseded Proposed North and West Elevations;
37. Superseded Proposed Roof Plan;
38. Superseded Proposed Site Plan;
39. Conservation Rooflight Product Sheet;
40. Public Representations;
41. Full Site Notice;
42. Boat of Murthly – Category B;
43. Proposed Double Garage Elevations and Sections;
44. Footprint, aerial photo and existing – proposed site extracted;
45. Proposed Double Garage Elevations;
46. Proposed Double Garage Floor Plan;
47. Proposed Double Garage Roof Plan;
48. Drawing Issue Sheet;
49. Tree Survey Report;
50. Bat Survey;
51. Internal Consultee Response;
52. Internal Consultation from Flooding;
53. Internal Consultee Response – Biodiversity;
54. External Consultee from Perth & Kinross Heritage Trust;
55. External Consultation from Scottish Water;
56. Neighbour Notification List; and,
57. Neighbour Notification Maps



Ryden

**ALTERATIONS AND EXTENSION TO
DWELLINGHOUSE, ERECTION OF
GARAGE, NEW ACCESS ROAD AND
ANCILLARY WORKS**

25/00806/FLL

**BOAT OF MURTHLY
DUNKELD
PH8 0JA**

**STATEMENT OF GROUNDS FOR
REVIEW OF DECISION BY
LOCAL REVIEW BODY**

OCTOBER 2025



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01 INTRODUCTION

- 1.1 Ryden is appointed on behalf of Ms J. Maude in relation to an application for full planning permission submitted to Perth & Kinross Council under reference 25/00806/FLL (Document 2).
- 1.2 The application is for “*Alterations and extension to dwellinghouse, erection of a garage and plant building, installation of a retaining wall, alterations and extension to access road, formation of patio and associated works*” at Boat of Murthly, Dunkeld, PH8 0JA (“the site”) which is a Category B Listed Building. A sibling application for Listed Building Consent (25/00807/LBC) was also submitted and is the subject of a separate appeal to the Scottish Government’s Division of Planning & Appeals (DPEA).
- 1.3 It has been indicated by Perth & Kinross Council that [any Local Review Body consideration should await the determination of the Listed Building Consent appeal being considered on behalf of Scottish Government Ministers](#) by a Reporter of the Department of Planning & Environmental Appeals (DPEA).
- 1.4 This also reflects the key determining issue in terms of the impact on the listed building. Any decision on the DPEA appeal will therefore be a material consideration that would carry significant weight in the determination of the LRB appeal.
- 1.5 This submission should therefore only be formally considered once the current Listed Building Consent (LBC) appeal is determined.
- 1.6 The drawings were prepared by architects Simpson & Brown who are recognised Heritage Specialists. Their brief was to comprehensively refurbish and upgrade the property to allow practical single family accommodation, for example by having a safely accessible upper floor served by a single staircase for adults and children whilst retaining the special historic and architectural features of the house.
- 1.7 The proposal includes demolition of a non-original side extension, some attached outbuildings and a 1970s rear gable extension. These will be replaced by a new rear extension, as well as removal of some other specific non-original features, along with repair/replacement works to windows, stonework and roofing. The plans detail internal alterations to the ground floor and first floor layouts, restoration of the timber panelling in principal rooms and the creation of two new slappings for circulation. Recent repairs to the chimneys have been subject to a separate Listed Building Consent. Ongoing repair works to stonework also demonstrate the attention to detail and quality of ongoing works, particularly compared to some of the previous ‘repairs’ to the property.

- 1.8 This is not a pristine listed building and the proposal is to remove the unsympathetic and incongruous extensions and clutter of buildings to the rear and to replace them with one single, carefully designed, element in appropriate materials.
- 1.9 A simple outbuilding/garage is proposed which is subservient in scale and not at risk of flooding. This element has been largely uncontentious and acceptable to officers and consultees but is assessed against relevant policies for completeness later in this document.
- 1.10 All recent works as well as the internal and external features of the property can be seen during a site inspection. Internal access will need to be confirmed and arranged so any site visit should be accompanied.
- 1.11 The application was refused by the Council on 15 August 2025 (Document 3) on the basis that the proposal was not in compliance with National Planning Framework 4 (NPF4) Policies 7, 14 and 16 as well as Local Development Plan 2 Policies 1A, 1B and 27A. These are set out later in this document together with our response and assessment.
- 1.12 The statement also outlines the planning history and the design process which led to the current proposal, taking into account feedback from Historic Environment Scotland (HES) and the Council's Conservation, Environmental Health, Biodiversity and Flood Prevention Officers.
- 1.13 On balance, it is considered that the proposal preserves the character, special architectural/historic interest of the listed building and its setting while achieving a number of conservation gains in compliance with relevant policies.
- 1.14 The planning application received two letters of support and no objections.



Principal (south) elevation fronting the river

02 THE SITE AND PLANNING HISTORY

THE SITE

- 2.1 The appeal site is located at Boat of Murthly, Dunkeld. The site comprises an existing two-storey B-listed dwellinghouse situated on the banks of the River Tay (LB ref: LB4456). The ground floor level is 42.91m AOD. An existing access road provides entry to the property and an existing flood protection wall is also present on the site. The site boundary is clearly defined on the location plan and site plans provided. (Documents 21 and 22).
- 2.2 Boat of Murthly, circa 1830-1866, was originally built as two adjoining cottages which have since been converted to a single dwelling. At least one of the cottages was designed to house a ferryman. The building is an example of estate workers' cottages of the late 19th century improvement era.
- 2.3 The principal elevation of the house is the south elevation which faces the river, looks across to the main estate and is characterised by a six-arched loggia. The rear (north) elevation is a secondary elevation and has a lean-to 'catslide' roof.
- 2.4 The listing description is short. It describes the property very simply as follows:
- "Semi-detached rubble cottages, centre part single storey with dormers, 6-arch stone loggia in front between 2-storey end bays. c. 1850. Picturesque."*
- 2.5 This references the front of the building and does not mention the rear or the catslide roof at all. That is simply a statement of fact.
- 2.6 Internally, there is timber panelling throughout the ground floor and two stairways which served the individual cottages prior to conversion. There is an existing single slapping on the ground floor which connects the two wings of the building.
- 2.7 The building has undergone a number of alterations over the years.
- 2.8 The most significant of these is a 1970s rear extension where the existing kitchen is located and a further flat roof side extension. The original floorplan is still legible internally but has been compromised by the gable extension to the north and the addition of a bay window to the original west cottage.
- 2.9 There are a variety of non-original outbuildings immediately north of the rear elevation which include a double garage and a large workshop. These are detrimental to the rear setting of the listed building.

PLANNING HISTORY

2.10 The relevant planning history of the site is summarised below:

PK/69/178 - Erection of double garage - 1 Jul 1969 - Application Approved;
PK/69/1106 - Alterations and extension to house - 8 Jan 1970 - Application Approved;
PK/93/0480 - Construction of a flood protection barrier - 18 May 1993 - Application Approved;
24/01935/LBC - Alterations and extension to dwellinghouse - 4 April 2025 - Application Withdrawn;
24/01939/FLL - Alterations and extension to dwellinghouse - 4 April 2025 - Application Withdrawn;
25/00181/FLL - Erection of ancillary accommodation, plant and garage building and formation of access track - 4 April 2025 Application Withdrawn;
25/00445/LBC - Repairs to chimneys - 29 May 2025 - Application Approved;
25/00806/FLL - Alterations and extension to dwellinghouse, erection of a garage and plant building, installation of a retaining wall, alterations and extension to access road, formation of patio and associated works – 30 May 2025 – Application Refused; and
25/00807/LBC - Alterations and extension to dwellinghouse – 30 May 2025 – Application Refused.

INITIAL APPLICATIONS FOR PLANNING PERMISSION AND LISTED BUILDING CONSENT

- 2.11 An initial planning application (24/01939/FLL) was submitted for alterations and extension to the house in parallel to a sibling listed building consent application.
- 2.12 In addition, a separate planning application (25/00181/FLL) was originally submitted for the erection of an outbuilding which included ancillary accommodation, plant and garage space, and minor changes to the access track.
- 2.13 Feedback from HES on 07 March 2025 did not object to the proposal and supported the removal of non-original features, but raised some detailed matters of design as follows:
- Rear (north) extension as proposed which would involve the loss of the lean-to roof.
 - Replacement of existing non-original bay window on the south-west gable and a new bay window proposed on the south-east gable. Removal of non-original bay window and re-instatement of sash and case windows was preferred.
 - Removal of both internal stairwells. Retention of one of the staircases was preferred.
 - Creation of 3 new internal wall openings at first floor level.

- 2.14 HES also recognised that the eastern cottage had undergone more alterations than the western cottage and therefore it was considered to be more suitable for further alteration.
- 2.15 With regard to the garage outbuilding, the Council indicated that the proposal for two bedrooms with a separate access road was unlikely to be acceptable on the basis that the building could be used as a separate house. The height and scale of the proposed outbuilding was also considered to be excessive.
- 2.16 The Council also requested that flood risk modelling was revised.
- 2.17 The bat survey confirmed that the demolition works would not harm protected species and a number of conditions were recommended.
- 2.18 Against this background, the applications were discussed with council officers and subsequently withdrawn.

03 THE CURRENT PROPOSAL

PROPOSAL AS SUBMITTED

- 3.1 The current planning application combines proposals for alterations to the main house as well as a revised garage which has been repositioned outwith the existing flood plain and lowered in height. The garage is reduced in scale and has no ancillary bedroom accommodation. The access has been re-aligned and provides a single drive to the house and garage which minimises impact on the garden ground and landscaping.
- 3.2 The proposal will remove an existing unsympathetic garage and workshop on the north (rear) side of the house as well as removal of a 1970s flat roof extension on the east side of the north elevation and the 1970s east gable rendered extension. The Design and Access Statement provides a summary of the proposals (Document 9).
- 3.3 The application is for a new extension on the east and central sides of the rear (north) elevation, leaving the west side unaltered and improvements to the principal (south) elevation. The proposed extension comprises two main components: first, the remodelling of the rear of the building, and second, the replacement of the existing, but later, extension to the north-east gable of the original house.
- 3.4 The roof of the existing lean-to at the rear of the building will be removed, but its walls will be retained in the new stair hall and will be supplemented by a new structure featuring a sweeping lean-to roof in a similar style to the existing catslide roof. The east part of the proposed extension will be of two storeys, with a ridge height lower than the historic building, and will be in a traditional style which complements the historic fabric of Boat of Murthly. This step-down at the extent of the original cottage defines and accentuates the change from the original cottage to the new extension. The works will remove the existing extension on the north-east gable of the original house and replace it with a lower and narrower structure.
- 3.5 A series of changes will also be undertaken to improve the appearance and enhance the special interest of the principal elevation to the south. These will include the replacement of the existing non-historic loggia glazing, the removal of a twentieth-century bay window, and the replacement of historic features such as impost blocks in the loggia arcade and finials on the bargeboards. Other works to the exterior will include replacement of some later, non-original windows on the east elevation with new units to match the original profiles, and the replacement of inappropriate UPVC rainwater goods with painted cast iron.
- 3.6 In addition, the brick and cement window surrounds of two small windows on the east gable (ground floor lounge and first floor bedroom) will be replaced by stone to repair and match

the existing original stonework. A new, low-carbon, ground-source heat pump heating system will include underfloor heating, negating the need for wall-mounted radiators. This attention to detail provides an illustration of the care and craft of the overall design approach taken by the applicant and designers.

- 3.7 Internally, two slappings will be made in original fabric at the rear of the building. The window-joinery will be re-used in the replacement of the bay window on the south elevation. Interior wooden panelling will be retained; one stair (which has been subject to previous alteration) will be removed in the east cottage and one stair will now be retained. Floors in the east cottage will be taken up, refurbished and re-used.

INITIAL CONSULTATION RESPONSES

- 3.8 Historic Environment Scotland provided the following consultation response (Document 5) on the new application as submitted:

'No objection and detailed response provided. Architectural interest to loggia, rear catslide roof, unaltered floor plan, timber panelling throughout and original stairways. Positive to see removal of modern bay window and breakfast room, reinstating intended symmetry of the principal elevation, enhance character. Changes to the loggia would reverse unsympathetic alterations. Preference is to retain the historic rear outshot but the principle of removal can be accepted by virtue of conservation gains, and the extension would improve circulation through the historic building. The proposed north extension height and massing visually dominates the west elevation and roofscape with a flat and solid appearance. This element could be reviewed to lighten/soften its impact with the use of different materials, reduction in height, creation of openings, etc. Slates from the existing catslide should be retained for future repair and maintenance.

Support retention of the existing staircase in the west cottage but unclear how it will be blocked. Preference would be for a more permeable solution than complete closure. No details provided with regards to insulation proposed. Care should be taken when lifting floorboards.'

- 3.9 This raised some specific design issues and concerns but overall accepted the principle of removal of the rear extension and the overall conservation gains. **Historic Environment Scotland** offered **no objection** to the proposal.

- 3.10 The Council's Conservation Officer provided the following initial response (Document 6):

'Significant concerns and objection, relating to the proposed extension, removal of catslide dormer and the use of plant-on astragals. The extension would result in an

insensitive overdevelopment which does not respect the building's character, setting or detail as a whole. There would be a resultant loss of historic detailing and symmetrical layout, thus impacting on the building's original symmetrical external and internal character and legibility as two cottages. Efforts to retain the 'west cottage' as original as possible is welcomed but would still be impacted by the extension's overdevelopment. The use of plant-on astragal detailing is not supported. Demolition of unsympathetic extensions and removal of the south bay window are welcomed. There are no concerns with the proposed garage building's impact on listed building setting or with its material finishes. There would be a reorientation of the building away from the historic principal elevation. Sufficient space would remain to allow the principal elevation to be used as primary entrance and therefore efforts to retain the south as primary entrance would be welcomed.'

3.11 In response to the above, we suggest that the existing building in its current altered form is the appropriate baseline for assessing this proposal, not the original symmetrical form. In addition, the wall to the south of the property is in direct response to flood risk and has already altered the way in which the property is used and accessed day-to-day. Any principal entrance from the south would compromise this and the key elevation of the house which is restored to its original state by the proposal.

3.12 The following consultation responses were also received:

- **P&KC Environmental Health Officer** **No objection**, subject to noise limit condition relating to plant.
- **P&KC Flood Prevention Officer** **No objection.**
- **P&KC Biodiversity Officer** **No objection**, subject to conditions relating to biodiversity preservation and enhancement.
- **Scottish Water** **No objection.**
- **Perth & Kinross Heritage Trust** **No objection** and further archaeological mitigation works required.

REPRESENTATIONS

- 3.13 Two letters of support were submitted to the planning application (and four to the separate LBC Application) relating to material planning matters for retention of historic features (internal and external), and sustainable design elements.

THE CURRENT (AMENDED) DESIGN

- 3.14 Further to the consultation responses from both HES and the council officers, the following specific design amendments were made:
- Reduction in height of the proposed rear central and north-east components of the new extension to step down lower than previously designed.
 - Inclusion of two roof lights in the proposed rear central part of the extension to break up west elevation roofscape visually.
 - All internal timber wall panelling will be retained, restored and exposed (not concealed).
 - The existing poor-quality infill panels and anachronistic upper lights in the loggia removed and replaced with more unobtrusive and appropriate windows and doors.
 - The existing, original windows and shutters will be overhauled and repaired as necessary.
 - The existing asbestos soffit boards will be removed, exposing the rafter ends and restoring this part of the building to an appearance more consistent with the original pair of cottages.
 - Imposts in the loggia arcade which have been cut back will be reinstated.
 - Dormer finials will be reinstated similar to those on the gables.
 - Single glazed Histoglass will be used on new windows in the original part of the building.
- 3.15 A summary of the design changes and response to the previous consultations was provided by the architects Simpson & Brown (Document 8).

- 3.16 This positively responds to the comments made by HES concerning reducing the ridge heights of the proposed extension and visually breaking up the roof of the west elevation. We consider that the stepping-in of the floorplan, stepping down of the ridgeline and use of high-quality traditional materials and finishes did not require any further iteration and the key diagram summarising these points is provided in Document 8 (extract below).



View from rear, as existing - Photograph [July '24]

Proposed east wing extension ridge to be lower than existing/ original ridge. Red dashed line indicates existing extension to be removed.

Central extension ridge line lower than east and west wings, whilst maintaining practical habitable height in bedroom 3 and maintaining a level of insulation to meet current standards.

Proposed extension to be finished with a pitched slate roof, lead flashings, lime render external walls and painted double glazed timber windows with stone margins.

Extent of original building now legible.

2no. new conservation style rooflights proposed on new lean-to roof.

Traditional building forms break down the massing, the use of gables, and replicating the sweeping lean-to roof help to reduce the scale of the extension.



View from rear, amended application as proposed [July '25]

FURTHER RESPONSE FROM P&KC

- 3.17 The Council's Conservation Officer provided a follow-up response (Document 7) to the amended scheme (as summarised in the Council's Delegated Report as follows):

'Significant concerns and objection remain. Minor external changes fail to enhance the special architectural interest of the listed building. These changes include a slight reduction of extension height and two rooflights which do not lessen overall bulk massing; the demolition of the impressive catslide roof; the use of plant-on astragals for replacement or new windows where other alternatives seeking to match or closer to existing 14mm profile detail should be explored; a window and door survey for replacement windows and doors was not received or submitted. Retention of the internal panelling and west staircase is welcomed.'

3.18 This response welcomes at least some of the detailed changes but does not consider that removing the existing north-east gable extension and the flat roof extension or the rear outbuildings to be a significant benefit or improvement. It does not weigh the positive impacts against the negative impacts of the proposal and does not fairly consider the proposal against the current baseline conditions.

3.19 HES were not re-consulted on the amended scheme but we suggest the changes made have responded positively to the detailed comments that they had previously recorded.



Principal (south) elevation fronting the river



Unsympathetic rear outbuildings impacting setting



Rear of property showing existing unsympathetic extensions



Existing unsympathetic render extension and adjoining outbuildings

04 LEGISLATIVE AND POLICY FRAMEWORK

- 4.1 Section 59 of the Planning (Listed Buildings and Conservation Areas) (Scotland) Act 1997 requires that in considering whether to grant planning permission for development which affects a Listed Building or its setting, a planning authority shall have special regard to the desirability of preserving the building or its setting or any features of special architectural or historic interest which it possesses.
- 4.2 Section 25 of the Town and Country Planning (Scotland) Act 1997 (as amended) directs that planning applications should be determined in accordance with the Development Plan unless material considerations indicate otherwise.
- 4.3 The development plan comprises NPF4 and the adopted Perth and Kinross Local Development Plan 2019. Where there is any tension or conflict in policy then the more recent part of the development plan (in this instance NPF4) will take precedence.

NATIONAL PLANNING FRAMEWORK 4 (NPF4)

- 4.4 NPF4 sets out national planning policies which reflect Scottish Ministers' priorities for the operation of the planning system and for the future development of Scotland. NPF4 promotes consistency in the application of the statutory planning processes across Scotland whilst allowing sufficient flexibility to reflect local circumstances. NPF4 prioritises tackling the climate and nature crises (Policy 1), which will be given 'significant weight' when considering all development proposals.
- 4.5 NPF4 Policy 1, 2 and 3 seek to ensure that development proposals minimise carbon emissions as far as possible and protect and enhance biodiversity.
- 4.6 NPF4 includes the Scottish Government's national planning policy on the conservation of the historic environment – Policy 7 – Historic places and assets.
- 4.7 The stated intent of Policy 7 is to protect and enhance the historic environment and 'enable positive change as a catalyst for the regeneration of places.' The outcomes of the policy are intended to ensure the historic environment is 'valued and protected' and to support the transition to net-zero. It also looks to bring neglected historic buildings into sustainable and productive uses, whilst recognising the 'social, environmental and economic value of the historic environment.'
- 4.8 NPF4 Policy 7a explicitly recognises an informed approach to conservation, and states that development proposals with the potential for significant impacts on historic places should be

accompanied by an assessment of the place's significance. The application included a Heritage Statement in accordance with Policy 7a.

- 4.9 That assessment concludes that there will be some changes to the historic fabric, in particular the introduction of a slapping and enlargement of another opening in the rear exterior wall of the building; the removal of the east stair; and the removal of the lean-to roof.
- 4.10 However, these changes have been concentrated in areas of the building which have seen the most change in the past. Areas which retain the greatest authenticity are the south and west elevations and the plan form of the west cottage. These areas remain intact with the exception of positive interventions and conservation gains (such as the removal of the historic bay window and the removal of paint from chimneypieces).
- 4.11 The elements proposed for greater change have seen more change in the past and they are all in areas of the building which have lower cultural-heritage significance in part due to their lesser authenticity, but also due to lower architectural and aesthetic interest. The most significant aspect of the building is the south elevation and the relationship of the building to its setting on the River Tay, which is one of the most important elements of Boat of Murthly's heritage value.
- 4.12 Given the minimal impact on the most significant elements of the Boat of Murthly, and the accompanying conservation gains proposed, it is not anticipated that there will be a significant adverse impact on the listed building.
- 4.13 NPF4 Policy 7c deals specifically with listed buildings. It states:
- "Development proposals for the reuse, alteration or extension of a listed building will only be supported where they will preserve its character, special architectural or historic interest and setting. Development proposals affecting the setting of a listed building should preserve its character, and its special architectural or historic interest."*
- 4.14 NPF4 Policy 14 – Design, Quality and Place – seeks to encourage, promote and facilitate well designed development that makes successful places by taking a design-led approach and embodying the following principles: healthy, pleasant, distinctive, connected, sustainable and adaptable.
- 4.15 NPF4 Policy 16g (i) – Quality homes – that states that householder development proposals should not have a detrimental impact on the character or environmental quality of the home and the surrounding area in terms of size, design and materials.
- 4.16 NPF4 Policy 22 – Flood risk and water management – is also relevant. It seeks to strengthen resilience to flood risk by promoting avoidance as a first principle and reducing the vulnerability of existing and future development to flooding.

- 4.17 Key issues addressed by this submission primarily relate to the character and integrity of the Listed Building and its setting and the balance and weight to be accorded to the positive and negative impact of the proposal when considered as a whole.

HISTORIC ENVIRONMENT POLICY FOR SCOTLAND (HEPS)

- 4.18 HEPS is a national policy statement published by Historic Environment Scotland (HES) which defines how decisions should be made in relation to the management and protection of the historic environment. HEPS is supported by 'Managing Change' guidance notes covering a range of topics that affect the historic environment, including:

- Managing Change in the Historic Environment: Windows
- Managing Change in the Historic Environment: Extensions
- Managing Change in the Historic Environment: Interiors
- Managing Change in the Historic Environment: Roofs
- Managing Change in the Historic Environment: Setting
- Interim Guidance on the Principles of Listed Building Consent.

- 4.19 The HEPS guidance recognises that changes in historic assets are acceptable and that a balanced view requires to be taken.

PERTH & KINROSS LOCAL DEVELOPMENT PLAN (2019)

- 4.20 *Perth and Kinross Local Development Plan 2* was adopted in November 2019. The plan states that it 'is the Council's statutory corporate document that guides all future development and use of the land', with the aim of working towards the Council's *Vision for Perth and Kinross*.
- 4.21 LDP 2 Policy 1A – Placemaking – states that the design, density and siting of development should respect the character and amenity of the place, and should create and improve links within and, where practical, beyond the site.
- 4.22 LDP 2 Policy 1B (c) – Placemaking – is also relevant. It states that design and density should complement its surroundings in terms of appearance, height, scale, massing, materials, finishes and colours.

4.23 LDP 2 Policy 52 – New Development and Flooding – states that *“there will be a general presumption against proposals for built development or land raising on a functional flood plain and in areas where there is a medium to high risk of flooding from any source, or where the proposal would increase the probability of flooding elsewhere.”*

4.24 With regard to listed buildings, LDP Policy 27A states that:

“There is presumption in favour of the retention and sympathetic restoration, correct maintenance and sensitive management of listed buildings to enable them to remain in active use, and any proposed alterations or adaptations to help sustain or enhance a building’s beneficial use should not adversely affect its special architectural or historic interest.”

Encouragement will be given to proposals to improve the energy efficiency of listed buildings within Perth and Kinross, providing such improvements do not have a significant detrimental impact on the special architectural or historic interest of the building. Enabling development may be acceptable where it can be shown to be the only means of preventing the loss of listed buildings and securing their long-term future. Any development should be the minimum necessary to achieve these aims. The layout, design, materials, scale, siting and use of any development which will affect a listed building or its setting should be appropriate to the building’s character, appearance and setting.”

4.25 The objective and core focus of the policy is to retain, restore, maintain and managed listed buildings for active use as long as there is no adverse effect on special architectural or historic interest.

4.26 There is no qualification of significance nor acceptability.

4.27 The following section of this appeal statement therefore examines the specifics of the proposal in some detail.

05 GROUNDS FOR REVIEW

5.1 The application was refused by the Council on 15 August 2025 for the following reasons:

1. *'Approval would be contrary to National Planning Framework 4 Policy 7 (c) where the proposed extension would not seek to preserve the listed building's character, special architectural and historic interest and setting. This is by virtue of the proposed extension's detrimental design, massing, layout and window detail, significant loss to planform legibility and resultant detrimental alterations to original historic fabric.'*
2. *Approval would be contrary to National Planning Framework 4 Policy 14 (a) where the proposed extension would not be designed to improve the quality of the area; (b) where it would not be consistent with the 'distinctive' quality of a successful place by virtue of its design, massing, layout, window detail and significant loss to planform legibility; and (c) where it fails to provide a high quality and sensitive design, inconsistent with the six qualities of a successful place.*
3. *Approval would be contrary to National Planning Framework 4 Policy 16 (g)(i) where the proposed extension would have a detrimental impact on the character of the home, as a listed building, in terms of its size, design and window detail.*
4. *Approval would be contrary to Local Development Plan 2 Policy 1A by virtue of the proposed extension's design, in terms of its massing, layout, window detail and significant loss to planform legibility, which would not respect the character and amenity of the place.*
5. *Approval would be contrary to Local Development Plan 2 Policy 1B (c) where the proposed extension's design, in terms of massing, layout and window detail, would not complement and result in detrimental loss to the listed property's form, profile, plan form and character.*
6. *Approval would be contrary to Local Development Plan 2 Policy 27A where the proposed extension would not seek to preserve the listed building's character, special architectural and historic interest and setting. This is by virtue of the proposed extension's detrimental design, massing, layout and window detail, significant loss to planform legibility and resultant detrimental alterations to original historic fabric.'*

5.2 The proposed extension is the sole reason for refusal, as it was considered to have a detrimental impact on the character of the listed building by virtue of its massing, layout and window detail.

- 5.3 The proposed garage outbuilding, access road, retaining wall, patio and all other elements of the proposal were considered acceptable and did not form part of the reasons for refusal.
- 5.4 There is some overlap in the criteria of relevant policies and as such, the Grounds of Appeal address each issue in isolation relating to the individual reasons for refusal as outlined below.

GROUND FOR REVIEW REASON 1: IMPACT OF EXTENSION ON PLAN FORM LEGIBILITY

- 5.5 NPF4 Policy 7c states that development proposals for the reuse, alteration or extension of a listed building will only be supported where they will preserve its character, special architectural or historic interest and setting.
- 5.6 LDP Policy 27a states that there is presumption in favour of the retention and sympathetic restoration, correct maintenance and sensitive management of listed buildings to enable them to remain in active use, and any proposed alterations or adaptations to help sustain or enhance a building's beneficial use should not adversely affect its special architectural or historic interest.
- 5.7 The key test is whether the proposal preserves and does not adversely affect the character, special architectural or historic interest and setting of the listed building.
- 5.8 HES's Managing Change guidance on Interiors defines plan form as the arrangement and division of internal spaces into rooms and circulation spaces such as halls, stairs and corridors, and recognises that this is a key component of the character and special interest of any building. The guidance also states that the interrelationship of rooms and circulation space is a reflection of the building's design, function, status and period.
- 5.9 Where alterations to a historic plan form are proposed, the key issue to address is whether these alterations will harm the overall character of the building.
- 5.10 It is therefore helpful to understand the special architectural and historic interest of the building and its significance in terms of its plan form, particular features, and any additions or alterations that have occurred over time. This establishes the baseline of the existing building.
- 5.11 The subject building is not pristine. It has evolved and been adapted over time and both its fabric and setting have been compromised as set out in the Heritage Statement (Document 24) and as shown in photographs below on page 19.
- 5.12 The Heritage Statement evaluates the level of significance of a number of features as follows:
- **Principal elevation - Considerable:** This elevation has the greatest level of architectural detail, including the loggia, which is a unique feature which contributes

strongly to its architectural interest. It also has the strongest relationship with the setting.

The principal elevation is the southern elevation to the river and this informs the design, orientation and layout of the building.

- **Other original exteriors – *Moderate*:** These are original exteriors of lower architectural interest. They are examples of a common historical type.
- **Interiors with surviving panelling and chimneypieces – *Moderate*:** These are early or original interiors of some interest, although they are not of especially high material or design quality.
- **Heavily altered interiors and 1970s extension to east wing – *Neutral*:** Many interiors have been changed over time and lost original features. The modern extension does not add to the special interest of the building.

- 5.13 The Boat of Murthly was built as a pair of cottages prior to the construction of the Caputh Bridge over the Tay when a ferry boat would have been used to access the northern parts of the estate.
- 5.14 Against this background, it is the south elevation which is of primary significance as confirmed in the Heritage Statement, with its symmetrical features and fine detailing, coupled with the relationship of the building to its setting on the River Tay, which is one of the most important elements of Boat of Murthly's heritage value.
- 5.15 Conversely, the rear service areas of the building are considered to be of lower cultural-heritage significance in the Heritage Statement.
- 5.16 In addition, it should be acknowledged that the existing baseline is not a pristine, unaltered listed building but instead a building which includes an unsympathetic, non-original 1970s north-east gable extension adjoining the rear lean-to roof and a cluster of rear outbuildings.
- 5.17 The building has also recently undergone careful maintenance works including removal of vegetation, re-pointing and repairs to the chimneys which have all been meticulously undertaken (left two images) in stark contrast to the existing condition and previous unsympathetic works undertaken on the property (right two images).
- 5.18 What is proposed is a carefully crafted design and sympathetically detailed refurbishment of the property.



Recent repointing work



Chimney repairs



Existing cement infills



Existing cement infills

- 5.19 It is recognised that the rear utility/service area is of some significance to the original plan form, but the change proposed is considered to be an acceptable impact in order to achieve a rear extension which will greatly improve circulation around the building, create a unified dwelling and, crucially, minimises intervention to the remaining original plan form of the more significant parts of the house.
- 5.20 The proposal also retains some fabric from the walls of the rear lean-to, and the proposed stair hall will be constructed to the same footprint, meaning that this will remain legible in the new building.
- 5.21 The removal of the existing (non-original) north-east gable extension also provides an improvement to the legibility of the plan form and massing of the original building. The plan form of the proposed replacement north-east gable extension is set-in from the corners of the original gable and its height is reduced to below the ridge line of the original structure.
- 5.22 It will also carefully remove the 1970s cement harling which currently covers some of the existing east elevation.
- 5.23 HES guidance states that *'room proportions are important to the integrity of a design. The size and height of a room is normally carefully proportioned to suit its historic function. For example, the size and arrangement of a principal space such as a dining or drawing room normally contrasts with the less formal or less elaborate private spaces, such as bedrooms.'*

- 5.24 Listed buildings should be allowed to evolve and meet modern standards of living while retaining the most significant architectural and historic features. The rear service area is considered to be of moderate significance does and not function well as usable space, whereas the proposed extension will greatly improve the liveability of the dwellinghouse for the future.
- 5.25 The proportions of principal rooms on the ground floor will remain intact and the considerable restoration to timber panelling and windows will enhance the historic character and interest of these rooms. Equally, the proportions of bedrooms on the first floor – the private spaces – will also remain intact, along with the retained west cottage staircase. All of this will preserve the legibility between these public and private spaces in plan form.
- 5.26 The proposed plan form also creates a clear distinction between old and new at ground floor and first floor level which accords with HES's Managing Change guidance, while preserving the original plan form of the west cottage (and the original rear lean-to wall/roof area), which has seen the least change over time.
- 5.27 On balance, whilst the overall change to the original plan form as proposed has some impact, we do not consider that the proposal will adversely affect the character, special architectural or historic interest of the listed building. The proposal recognises and references the original plan form better than the existing baseline and provides specific conservation gains.

GROUNDS FOR REVIEW REASON 2: DESIGN, MASSING AND LAYOUT OF REAR EXTENSION

- 5.28 Alongside LDP Policy 27A which relates solely to listed buildings, NPF4 Policy 14, NPF4 Policy 16g (i), LDP 2 Policy 1A and LDP 2 Policy 1A are also relevant to design and massing. Policies generally state that proposals should not have a detrimental impact on the character of a place/dwelling by virtue of its design, massing and layout.
- 5.29 The Council's Delegated Report of Handling summarises the proposed extension as follows:
- "It is positive to note that the proposed two-storey element (east wing) would continue below the host property's original roof ridge height, rather than the c1970s extension (to be removed) ridge line, and would be set back from the side (east) elevation building line thus exposing original quoin stonework. Similarly, it is positive to see the central extension's design set below the lowered central ridge line."*

- 5.30 The above report recognises that the step down and step-in from the original floorplan is a positive change along with the removal of the existing 1970's gable extension.

5.31 The report then goes on to state:

“In plan form there are no concerns with proposed building depth footprint (approx. 16m) in comparison to original building depth footprint (approx. 11.3m) which remains relative to original traditional dwellinghouse depth.”

5.32 The above accepts that the scale of the footprint and depth of the proposal is acceptable, but then it goes on immediately to contradict this and states that the proposed extension is disproportionate in scale.

“However, it is considered the proposed extension would result in a significantly disproportionate and ‘east-heavy’ massing imbalance. Although lowered from the original ridge lines and of acceptable depth, it cannot be supported as being fully subservient. There is concern that the proposed extension’s massing and balance overwhelms the property’s north elevation.

It is therefore considered that the proposed extension would not respect the host property’s shape, form or fully relate to existing roof pitches resulting in an imbalanced and disproportionate design which does not harmonise with the listed building. The proposed extension is not subordinate in all respects. It would result in an overdevelopment to the rear elevation resulting in significant harm to the property’s character and loss of listed building special architectural character and interest. Minimal impact solutions do not seem to have been fully explored.”

5.33 We suggest that the massing is largely a function of the depth. If the depth is considered to be acceptable then there should be at least some recognition that the proposal is subservient even if not “fully subservient” as the officer describes.

5.34 We also suggest that the setback exposing the quoins and further step down in ridge heights as well as the acknowledged acceptable depth of floorplan results in a proposal that is clearly legible as subservient and should therefore be acceptable.

5.35 The officer’s response at least recognises that the extension is subservient in some respects. We have established that the rear (north) elevation is not the principal elevation of primary significance to the property and despite the interesting roof, it is less important to the historic and architectural interest of the property overall.

5.36 The key policy test is again whether the character, special architectural or historic interest and setting is preserved and not adversely affected in accordance with NPF4 Policy 7c and LDP Policy 27a.

5.37 HES' Managing Change guidance on 'Extensions' is directly relevant to the assessment of the proposal. It states that extensions:

- must protect the character and appearance of the building;
- should be subordinate in scale and form;
- should be located on a secondary elevation; and
- must be designed in a high-quality manner using appropriate materials.

5.38 The proposed design and massing complies with this guidance

5.39 **Protection of character and appearance.** While it is acknowledged that the existing rear central lean-to roof forms part of the character and appearance of the original building and is of moderate significance, the proposed rear extension makes reference to it as a design cue, by introducing a new catslide roof and reflecting traditional building materials including the use of lime render and stone quoins.

5.40 Although the proposal alters the rear elevation, it is considered that the overall character and appearance is preserved and is more legible.

5.41 Removal of the unsympathetic outbuildings will significantly improve the setting of the listed building.

5.42 The removal of the flat roof extension and the 1970's north-east gable extension are also positive.

5.43 Overall, the design deals sensitively with the building and expresses the original footprint, contributing in a positive and distinctive manner to place in line with NPF4 Policy 14a.

5.44 **Subordinate in scale and form.** The height of the proposed two-storey element will be set below that of the original roof ridge height unlike the 1970s north-east gable extension which will be removed.

5.45 It will be set back from the side (east) elevation building line, exposing original quoins. The rear central extension's design will also be set down further below the lowered central ridge line.

5.46 The proposed extension also represents 18% of the overall building footprint which is subordinate in terms of footprint and scale. Excluding the garage and outbuildings that are proposed for removal, the existing building footprint extends to 247.5 sq m. The proposed extension is 45.3 sq m (18% of the original) as detailed in the Simpson & Brown summary response (Document 8).

- 5.47 The Delegated Report states that the proposed extension would result in a *“significantly disproportionate and ‘east-heavy’ massing imbalance”*. While it is acknowledged that the proposal represents a change to the massing, the existing baseline is not an unaltered or symmetrical building.
- 5.48 The symmetry of the most significant principal elevation will actually be enhanced and more easily defined, as will the symmetry of the principal rooms in plan form.
- 5.49 **Located on secondary elevation.** The proposed extension is located on the secondary (rear) elevation which the Heritage Statement considers to be of moderate and lower significance than the principal elevation.
- 5.50 **High-quality design and appropriate materials.** The extension is designed to reflect the character and appearance of the building, is subservient in scale, preserves the less altered west cottage intact and uses appropriate traditional materials.
- 5.51 It is therefore considered that the proposal also accords with the six qualities of successful places of NPF4 Policy 14 b & c in the following ways:
- **Healthy** – the proposed extension significantly improves the circulation and liveability of the property as a single, unified dwellinghouse;
 - **Pleasant** – the use of high quality materials will support attractive built spaces;
 - **Connected** – the site is within cycling distance of Dunkeld;
 - **Distinctive** - the proposed lean-to roof and stone quoins reflect architectural details of the local area;
 - **Sustainable** – the proposal includes a low carbon ground-source heat pump and a range of energy-efficiency measures;
 - **Adaptable** – the proposed floor plan allows for a range of uses within different rooms on the ground floor and first floor.

GROUND FOR REVIEW REASON 3: ALTERATION TO LEAN-TO ROOF

- 5.52 The lean-to catslide roof connects the main two-storey south range to a single-storey service area to the rear north side. It is an interesting but not particularly unusual a feature and is situated on the rear (secondary) elevation.
- 5.53 HES Managing Change guidance on ‘Roofs’ states that *“the significance of a historic roof is derived from a number of factors including its age, functional performance, shape and pitch, profile, and the qualities of its supporting structure, covering materials and associated features.”*
- 5.54 The officer’s report however is more subjective and states that:

“By virtue of the rear catslide roof’s age, craftsmanship, shape, pitch, profile and material finish, demonstrates clear significance of the historic roof. As noted by the Conservation Officer, the catslide roof is an important architectural feature of the building and makes a significant contribution to the overall architectural interest of the building by demonstrating architectural techniques to roof a single-storey area at the rear of a two-storey element. The size, scale and preservation of the catslide roof is also unusual for the area.”

- 5.55 The Heritage Statement considers the roof to be of a common architectural type and categorises its level of significance as ‘moderate’. It is of lower architectural and historic interest than the principal elevation to the riverside. We suggest that the uniqueness and significance is overstated by the council. It is not unusual and there are many examples which are typically on rear or side elevations. The significance of the impact should take account of it being on the secondary and less important rear elevation.
- 5.56 While it is acknowledged that the existing lean-to roof is of some architectural and historic interest, the proposed alteration will be on a subsidiary elevation which, in accordance with Paragraph 4.3 of the HES guidance, will minimise the visual impact on the overall character of the building.
- 5.57 The impacts on the rear elevation roofscape need to be balanced against the overall conservation gains made on the principal elevation and the removal of the 1970’s north-east gable extension, flat roof annex, garage and outbuildings, all of which add to the weight to be accorded to the conservation gains of the proposal.
- 5.58 With regard to the rear central part of the proposed extension, the Delegated Report goes on to state:

“Furthermore, the central extension element would connect into an existing historic chimney stack and given that this chimney provides an important contribution to roof character, with reference to para 4.13, insufficient information has been provided to understand how the extension would connect to the central chimney and if any structural changes would be required to facilitate the new roof connections. Similarly, it is unclear as to whether the various connections from the connecting ‘link’ extension’s flat roof would require any structural changes.”

- 5.59 Simpson & Brown has assessed the detailed impact of the changes proposed and any specific structural interventions would be managed at Building Warrant stage with the input of a conservation accredited Structural Engineer. It should also be noted that the chimneys have recently been restored and repaired.

GROUND S FOR REVIEW REASON 4: PLANT-ON ASTRAGALS

- 5.60 The Council's Conservation Officer did not support the use of plant-on astragals on proposed new double-glazed windows. The Delegated Report states:

"With respect to repair and refurbishment of existing windows around the property, there are also instances of secondary glazing installation. There are no concerns with the use of mono single glazed Histoglass to the listed building which is welcomed. However, new double-glazed timber windows are not supported due to their plant-on astragal detail. These windows are located around the proposed extension, the principal (south) elevation and side (east) elevation."

- 5.61 This is not factually correct. New single glazed windows are proposed to replace the non-original windows in the original part of the dwelling. The use of plant-on astragals are only proposed in the extension, to match the existing astragal profile, whilst ensuring the new windows meet the required U-values for an extension.
- 5.62 The Council's Placemaking Supplementary Guidance states that replacement windows on listed buildings should match the original in every detail including materials, design, opening method and paint finish.
- 5.63 Similarly, HES's Managing Change guidance states that replacement windows should seek to match the original windows in design, form, fixing, method of opening and materials and that the success of a replacement window will depend on its detailed design, and on how well the new replicates the old. Astragal profiles should match the original *as closely as possible* and through (structural) astragals should be provided.
- 5.64 While non-statutory guidance is a good starting point, it cannot always be applied in every instance. As heritage specialist architects, Simpson & Brown do not typically propose plant-on astragals and only consider them as a last resort. In this instance, the existing (original) astragals could not be replicated on the new windows and plant-on astragals were considered to be the most suitable solution to most closely match the appearance of original windows.
- 5.65 In the Supporting Cover Letter (Document 8), Simpson & Brown confirm:

"The existing, original windows, where retained, are proposed to be overhauled and upgraded with new secondary glazing. It was hoped the size of the existing astragals would be sufficient to be replicated for the new windows, in the original part of the dwellinghouse and the extension. However, this is unfortunately not the case, as they are a minimal 14mm in width. In order to retain the existing

proportions of the astragals, Histoglass MONO single glazing system is now proposed for the new windows in the original part of the house.”

- 5.66 That response also notes that Simpson & Brown are currently working with Edinburgh World Heritage as part of a wider research programme to investigate solutions for upgrading windows which demonstrates their understanding and expertise in this field. The alternative would be increasing the size of the astragal profiles to provide double glazed windows to the extension, which would appear mismatched with the historic building in rooms and on elevations.
- 5.67 LDP Policy 27a states that ‘*encouragement will be given to proposals to improve the energy efficiency of listed buildings within Perth and Kinross, providing such improvements do not have a significant detrimental impact on the special architectural or historic interest of the building.*’
- 5.68 Overall and on balance it is not considered that the proposed windows will have a significant detrimental impact on the building. The amended scheme has taken appropriate and reasonable steps to avoid plant-on astragals in the original part of the house and refurbished original windows, while selectively using them, where necessary and for good reason on the proposed *new* extension only.

OTHER PLANNING MATTERS

- 5.69 Although no other issues were raised in the reasons for refusal, we have considered all aspects of the proposal, afresh including the proposed garage/outbuilding, access and driveway amendments, biodiversity and flood risk.
- 5.70 The proposed garage is lower in height than the main dwellinghouse and is considered to be subservient in mass and scale. The demolition of the existing garage/outbuilding and set-back location of the new garage will improve the setting of the listed building.
- 5.71 No ancillary bedrooms are proposed in the garage outbuilding in accordance with the council's guidance on Ancillary & Annex Accommodation.
- 5.72 A realigned single access road is proposed which links the garage to the main dwellinghouse and increases the usable garden area for landscaping.
- 5.73 The garage and access road is considered to be in compliance with development plan policies and the council's own supplementary guidance.
- 4.28 NPF4 Policies 1, 2, and 3 seek to ensure that development proposals minimise carbon emissions as far as possible and protect and enhance biodiversity. The proposal includes a ground source heat pump which will provide low carbon heating and hot water to the

dwellinghouse. The restoration and replacement of windows will also improve energy-efficiency.

- 4.29 The submitted bat survey confirms that no protected species will be impacted by the development. A number of conditions are proposed in order to protect and enhance biodiversity which could be attached to a planning permission.
- 4.30 NPF4 Policy 22 – Flood risk and water management seeks to strengthen resilience to flood risk by promoting avoidance as a first principle and reducing the vulnerability of existing and future development to flooding.
- 4.31 The submitted flood risk assessment confirms that the proposed garage outbuilding is located outwith the floodplain and will not flood in a 1-in-200-year flood event, taking into account climate change.

06 SUPPORTING DOCUMENTS

6.1 The following documents are submitted as part of the Local Review Body submission:

1. Statement of Appeal;
2. Application form 30th May 2025;
3. Decision Notice 15th August 2025;
4. Report of Handling/Delegated Report;
5. HES Consultation Response 24th June 2025;
6. P&KC Consultation Response 17th July 2025;
7. P&KC Consultation Response 8th August 2025;
8. Simpson & Brown Summary Response to Issues July 2025;
9. Design & Access Statement May 2025;
10. Existing Ground Floor Plan;
11. Existing 1st Floor Plan;
12. Existing Elevations;
13. Existing North Elevation;
14. Existing & Proposed Ground Floor Details;
15. Superseded - Existing & Proposed Dining Room Layout;
16. Existing & Proposed Loggia Door & Window Details;
17. Existing & Proposed Window Types;
18. Existing & Proposed Door Details;
19. Existing Roof Plan;
20. Existing Site Plan Downtakings;
21. Existing Site Plan;
22. Location Plan;
23. Superseded - Lounge Room Layout & Details;
24. Heritage Statement;
25. Flood Risk & Drainage;
26. Proposed South & East Elevations;
27. Revised Existing & Proposed Astragal Profiles;
28. Revised Proposed First Floor Plan;
29. Revised Proposed Ground Floor Plan;
30. Revised Proposed North & West Elevations;
31. Revised Proposed Roof Plan;
32. Revised Proposed Site Plan;
33. Superseded drawing;
34. Superseded drawing;
35. Superseded drawing;

36. Superseded drawing;
37. Superseded drawing;
38. Superseded drawing;
39. Conservation Rooflight Spec Sheet;
40. Public Representations;
41. Site Notice;
42. List Description Boat of Murthly Category B;
43. Proposed double garage - elevations and sections;
44. Building footprint comparisons;
45. Proposed double garage - elevations;
46. Proposed double garage – floor plan;
47. Proposed double garage – roof plan;
48. Drawing Issue Sheet;
49. Tree Survey report;
50. Bat Survey report;
51. Consultee Response – Environmental Health Officer;
52. Consultee Response – Flood Prevention Officer;
53. Consultee Response – Biodiversity;
54. Consultee Response – Perth & Kinross Heritage Trust;
55. Consultee Response – Scottish Water;
56. Neighbour Notification List;
57. Neighbour Notification Maps; and
58. Core Documents List.

6.2 Further information and clarifications on any issues can be provided upon request.

07 CONCLUSION

- 7.1 The proposal includes the construction of a new rear extension on the secondary north elevation of the listed Boat of Murthly house. It will remove the non-original features and existing extensions and outbuildings. The proposal also includes detailed alterations to the existing dwelling including restored internal and external features, refurbished windows and panelling and internal changes to the first and ground floor layouts.
- 7.2 This statement outlines the design process and changes made, taking into account feedback from Historic Environment Scotland (HES) and the Council's own Conservation Officer. HES has accepted that removing the lean-to roof at the rear of the building has less impact overall on more significant parts of the building which are retained and enhanced including the plan form and layout of the original cottages.
- 7.3 On balance the impact is therefore positive compared to the current situation. The proposal is for complete and careful restoration and a single, well-designed and detailed extension in place of unsympathetic and poorly detailed elements that currently exist.
- 7.4 We contend that the outcome of the Listed Building Consent appeal to Scottish Government should be considered prior to determination of this Local Review on the full planning application.
- 7.5 In conclusion, and on balance, we consider that the proposal preserves and does not adversely affect the character, special architectural or historic interest of the listed building and its setting.
- 7.6 The new garage will be subservient in scale to the house and improves the setting of the listed building compared to the existing outbuildings. The development is not at risk of flooding and will not have a detrimental impact on biodiversity. Overall the proposal is in accordance with NPF4 Policy 1,2 & 3, NPF4 Policy 7, NPF4 Policy 14a, b & c, NPF4 Policy 16g (i), LDP 2 Policy 1A, LDP 2 Policy 1A and LDP Policy 27A. There are no material considerations which outweigh this.
- 7.7 There are many positive benefits of the proposal and the overall impact, at worse, should be considered to be neutral against the current condition of the property. The planning application under consideration by the Local Review Body should therefore be approved, subject to appropriate conditions.

EDINBURGH

7 Exchange Crescent
Conference Square
Edinburgh
EH3 8AN
0131 225 6612

GLASGOW

The Onyx
215 Bothwell Street
Glasgow
G2 7EZ
0141 204 3838

ABERDEEN

The Capitol
431 Union Street
Aberdeen
AB11 6DA
01224 588866

Ryden



Pullar House 35 Kinnoull Street Perth PH1 5GD Tel: 01738 475300 Email: onlineapps@pkc.gov.uk

Applications cannot be validated until all the necessary documentation has been submitted and the required fee has been paid.

Thank you for completing this application form:

ONLINE REFERENCE 100714653-001

The online reference is the unique reference for your online form only. The Planning Authority will allocate an Application Number when your form is validated. Please quote this reference if you need to contact the planning Authority about this application.

Type of Application

What is this application for? Please select one of the following: *

- ☒ Application for planning permission (including changes of use and surface mineral working).
- ☐ Application for planning permission in principle.
- ☐ Further application, (including renewal of planning permission, modification, variation or removal of a planning condition etc)
- ☐ Application for Approval of Matters specified in conditions.

Description of Proposal

Please describe the proposal including any change of use: * (Max 500 characters)

Alterations and extension to dwellinghouse, erection of ancillary double garage and plant building and associated works including alterations to existing access track.

Is this a temporary permission? *

☐ Yes ☒ No

If a change of use is to be included in the proposal has it already taken place?
(Answer 'No' if there is no change of use.) *

☐ Yes ☒ No

Has the work already been started and/or completed? *

☒ No ☐ Yes – Started ☐ Yes - Completed

Applicant or Agent Details

Are you an applicant or an agent? * (An agent is an architect, consultant or someone else acting on behalf of the applicant in connection with this application)

☐ Applicant ☒ Agent

Agent Details

Please enter Agent details

Company/Organisation:	Simpson & Brown Architects		
Ref. Number:		You must enter a Building Name or Number, or both: *	
First Name: *	Amy	Building Name:	The Old Printworks
Last Name: *	Kennedy	Building Number:	
Telephone Number: *		Address 1 (Street): *	77a Brunswick Street
Extension Number:		Address 2:	
Mobile Number:		Town/City: *	Edinburgh
Fax Number:		Country: *	UK
		Postcode: *	EH7 5HS
Email Address: *			

Is the applicant an individual or an organisation/corporate entity? *

☒ Individual ☐ Organisation/Corporate entity

Applicant Details

Please enter Applicant details

Title:	Ms	You must enter a Building Name or Number, or both: *	
Other Title:		Building Name:	
First Name: *	J.	Building Number:	
Last Name: *	Maude	Address 1 (Street): *	
Company/Organisation		Address 2:	
Telephone Number: *		Town/City: *	
Extension Number:		Country: *	
Mobile Number:		Postcode: *	
Fax Number:			
Email Address: *			

Site Address Details

Planning Authority:

Perth and Kinross Council

Full postal address of the site (including postcode where available):

Address 1:

BOAT OF MURTHLY

Address 2:

Address 3:

Address 4:

Address 5:

Town/City/Settlement:

DUNKELD

Post Code:

PH8 0JA

Please identify/describe the location of the site or sites

Northing

739793

Easting

306223

Pre-Application Discussion

Have you discussed your proposal with the planning authority? *

☒ Yes ☐ No

Pre-Application Discussion Details Cont.

In what format was the feedback given? *

☒ Meeting ☐ Telephone ☐ Letter ☐ Email

Please provide a description of the feedback you were given and the name of the officer who provided this feedback. If a processing agreement [note 1] is currently in place or if you are currently discussing a processing agreement with the planning authority, please provide details of this. (This will help the authority to deal with this application more efficiently.) * (max 500 characters)

Site visit with PKC and HES on 14th February 2025 to discuss previously submitted scheme, reference: 24/01939/FLL & 24/01935/LBC

Title:

Mr

Other title:

First Name:

Andrew

Last Name:

Rennie

Correspondence Reference Number:

24/01939/FLL & 24/01935/LBC

Date (dd/mm/yyyy):

14/02/2025

In what format was the feedback given? *

☒ Meeting ☐ Telephone ☐ Letter ☐ Email

Please provide a description of the feedback you were given and the name of the officer who provided this feedback. If a processing agreement [note 1] is currently in place or if you are currently discussing a processing agreement with the planning authority, please provide details of this. (This will help the authority to deal with this application more efficiently.) * (max 500 characters)

Teams meeting on PKC and HES on 27th March 2025 to discuss previous submission and amended proposals, reference: 24/01939/FLL & 24/01935/LBC

Title:

Other title:

First Name:

Andrew

Last Name:

Rennie

Correspondence Reference Number:

24/01939/FLL & 24/01935/LBC

Date (dd/mm/yyyy):

27/03/2025

Note 1. A Processing agreement involves setting out the key stages involved in determining a planning application, identifying what information is required and from whom and setting timescales for the delivery of various stages of the process.

Site Area

Please state the site area:

0.60

Please state the measurement type used:

☒ Hectares (ha) ☐ Square Metres (sq.m)

Existing Use

Please describe the current or most recent use: * (Max 500 characters)

Dwellinghouse

Access and Parking

Are you proposing a new altered vehicle access to or from a public road? *

☐ Yes ☒ No

If Yes please describe and show on your drawings the position of any existing. Altered or new access points, highlighting the changes you propose to make. You should also show existing footpaths and note if there will be any impact on these.

Are you proposing any change to public paths, public rights of way or affecting any public right of access? *

☐ Yes ☒ No

If Yes please show on your drawings the position of any affected areas highlighting the changes you propose to make, including arrangements for continuing or alternative public access.

How many vehicle parking spaces (garaging and open parking) currently exist on the application Site?

2

How many vehicle parking spaces (garaging and open parking) do you propose on the site (i.e. the Total of existing and any new spaces or a reduced number of spaces)? *

2

Please show on your drawings the position of existing and proposed parking spaces and identify if these are for the use of particular types of vehicles (e.g. parking for disabled people, coaches, HGV vehicles, cycles spaces).

Water Supply and Drainage Arrangements

Will your proposal require new or altered water supply or drainage arrangements? *

☐ Yes ☒ No

Do your proposals make provision for sustainable drainage of surface water?? *
(e.g. SUDS arrangements) *

☐ Yes ☒ No

Note:-

Please include details of SUDS arrangements on your plans

Selecting 'No' to the above question means that you could be in breach of Environmental legislation.

Are you proposing to connect to the public water supply network? *

- ☐ Yes
☒ No, using a private water supply
☐ No connection required

If No, using a private water supply, please show on plans the supply and all works needed to provide it (on or off site).

Assessment of Flood Risk

Is the site within an area of known risk of flooding? *

☒ Yes ☐ No ☐ Don't Know

If the site is within an area of known risk of flooding you may need to submit a Flood Risk Assessment before your application can be determined. You may wish to contact your Planning Authority or SEPA for advice on what information may be required.

Do you think your proposal may increase the flood risk elsewhere? *

☐ Yes ☒ No ☐ Don't Know

Trees

Are there any trees on or adjacent to the application site? *

☒ Yes ☐ No

If Yes, please mark on your drawings any trees, known protected trees and their canopy spread close to the proposal site and indicate if any are to be cut back or felled.

Waste Storage and Collection

Do the plans incorporate areas to store and aid the collection of waste (including recycling)? *

☐ Yes ☒ No

If Yes or No, please provide further details: * (Max 500 characters)

Arrangement as existing - bins are located at the end of the track, at the junction with the main road.

Residential Units Including Conversion

Does your proposal include new or additional houses and/or flats? *

☐ Yes ☒ No

All Types of Non Housing Development – Proposed New Floorspace

Does your proposal alter or create non-residential floorspace? *

☐ Yes ☒ No

Schedule 3 Development

Does the proposal involve a form of development listed in Schedule 3 of the Town and Country Planning (Development Management Procedure (Scotland) Regulations 2013? *

☐ Yes ☒ No ☐ Don't Know

If yes, your proposal will additionally have to be advertised in a newspaper circulating in the area of the development. Your planning authority will do this on your behalf but will charge you a fee. Please check the planning authority's website for advice on the additional fee and add this to your planning fee.

If you are unsure whether your proposal involves a form of development listed in Schedule 3, please check the Help Text and Guidance notes before contacting your planning authority.

Planning Service Employee/Elected Member Interest

Is the applicant, or the applicant's spouse/partner, either a member of staff within the planning service or an elected member of the planning authority? *

☐ Yes ☒ No

Certificates and Notices

CERTIFICATE AND NOTICE UNDER REGULATION 15 – TOWN AND COUNTRY PLANNING (DEVELOPMENT MANAGEMENT PROCEDURE) (SCOTLAND) REGULATION 2013

One Certificate must be completed and submitted along with the application form. This is most usually Certificate A, Form 1, Certificate B, Certificate C or Certificate E.

Are you/the applicant the sole owner of ALL the land? *

☒ Yes ☐ No

Is any of the land part of an agricultural holding? *

☐ Yes ☒ No

Certificate Required

The following Land Ownership Certificate is required to complete this section of the proposal:

Certificate A

Land Ownership Certificate

Certificate and Notice under Regulation 15 of the Town and Country Planning (Development Management Procedure) (Scotland) Regulations 2013

Certificate A

I hereby certify that –

(1) - No person other than myself/the applicant was an owner (Any person who, in respect of any part of the land, is the owner or is the lessee under a lease thereof of which not less than 7 years remain unexpired,) of any part of the land to which the application relates at the beginning of the period of 21 days ending with the date of the accompanying application.

(2) - None of the land to which the application relates constitutes or forms part of an agricultural holding

Signed: Amy Kennedy

On behalf of: Ms J. Maude

Date: 30/05/2025

☒ Please tick here to certify this Certificate. *

Checklist – Application for Planning Permission

Town and Country Planning (Scotland) Act 1997

The Town and Country Planning (Development Management Procedure) (Scotland) Regulations 2013

Please take a few moments to complete the following checklist in order to ensure that you have provided all the necessary information in support of your application. Failure to submit sufficient information with your application may result in your application being deemed invalid. The planning authority will not start processing your application until it is valid.

a) If this is a further application where there is a variation of conditions attached to a previous consent, have you provided a statement to that effect? *

☐ Yes ☐ No ☒ Not applicable to this application

b) If this is an application for planning permission or planning permission in principal where there is a crown interest in the land, have you provided a statement to that effect? *

☐ Yes ☐ No ☒ Not applicable to this application

c) If this is an application for planning permission, planning permission in principle or a further application and the application is for development belonging to the categories of national or major development (other than one under Section 42 of the planning Act), have you provided a Pre-Application Consultation Report? *

☐ Yes ☐ No ☒ Not applicable to this application

Town and Country Planning (Scotland) Act 1997

The Town and Country Planning (Development Management Procedure) (Scotland) Regulations 2013

d) If this is an application for planning permission and the application relates to development belonging to the categories of national or major developments and you do not benefit from exemption under Regulation 13 of The Town and Country Planning (Development Management Procedure) (Scotland) Regulations 2013, have you provided a Design and Access Statement? *

☐ Yes ☐ No ☒ Not applicable to this application

e) If this is an application for planning permission and relates to development belonging to the category of local developments (subject to regulation 13. (2) and (3) of the Development Management Procedure (Scotland) Regulations 2013) have you provided a Design Statement? *

☒ Yes ☐ No ☐ Not applicable to this application

f) If your application relates to installation of an antenna to be employed in an electronic communication network, have you provided an ICNIRP Declaration? *

☐ Yes ☐ No ☒ Not applicable to this application

g) If this is an application for planning permission, planning permission in principle, an application for approval of matters specified in conditions or an application for mineral development, have you provided any other plans or drawings as necessary:

- ☒ Site Layout Plan or Block plan.
- ☒ Elevations.
- ☒ Floor plans.
- ☐ Cross sections.
- ☒ Roof plan.
- ☐ Master Plan/Framework Plan.
- ☐ Landscape plan.
- ☒ Photographs and/or photomontages.
- ☐ Other.

If Other, please specify: * (Max 500 characters)

Provide copies of the following documents if applicable:

A copy of an Environmental Statement. *

☐ Yes ☒ N/A

A Design Statement or Design and Access Statement. *

☒ Yes ☐ N/A

A Flood Risk Assessment. *

☒ Yes ☐ N/A

A Drainage Impact Assessment (including proposals for Sustainable Drainage Systems). *

☐ Yes ☒ N/A

Drainage/SUDS layout. *

☐ Yes ☒ N/A

A Transport Assessment or Travel Plan

☐ Yes ☒ N/A

Contaminated Land Assessment. *

☐ Yes ☒ N/A

Habitat Survey. *

☒ Yes ☐ N/A

A Processing Agreement. *

☐ Yes ☒ N/A

Other Statements (please specify). (Max 500 characters)

Heritage Statement and Tree Survey Report

Declare – For Application to Planning Authority

I, the applicant/agent certify that this is an application to the planning authority as described in this form. The accompanying Plans/drawings and additional information are provided as a part of this application.

Declaration Name: Mr Simpson & Brown Admin

Declaration Date: 30/05/2025

Payment Details

Pay Direct

Created: 30/05/2025 11:40



Ms J Maude
c/o Simpson And Brown Architects
Amy Kennedy
The Old Printworks
77A Brunswick Street
Edinburgh
EH7 5HS

Pullar House
35 Kinnoull Street
Perth
PH1 5GD

Date of Notice: **15th August 2025**

TOWN AND COUNTRY PLANNING (SCOTLAND) ACT

Application Reference: **25/00806/FLL**

I am directed by the Planning Authority under the Town and Country Planning (Scotland) Acts currently in force, to **refuse** your application registered on 30th May 2025 for Planning Permission for **Alterations and extension to dwellinghouse, erection of a garage and plant building, installation of a retaining wall, alterations and extension to access road, formation of patio and associated works Boat Of Murthly Dunkeld PH8 0JA**

Kristian Smith
Development Management & Building Standards Service Manager

Reasons for Refusal

1. Approval would be contrary to National Planning Framework 4 Policy 7 (c) where the proposed extension would not seek to preserve the listed building's character, special architectural and historic interest and setting. This is by virtue of the proposed extension's detrimental design, massing, layout and window detail, significant loss to planform legibility and resultant detrimental alterations to original historic fabric.
2. Approval would be contrary to National Planning Framework 4 Policy 14 (a) where the proposed extension would not be designed to improve the quality of the area; (b) where it would not be consistent with the 'distinctive' quality of a successful place by virtue of its design, massing, layout, window detail and significant loss to planform legibility; and (c) where it fails to provide a high quality and sensitive design, inconsistent with the six qualities of a successful place.
3. Approval would be contrary to National Planning Framework 4 Policy 16 (g)(i) where the proposed extension would have a detrimental impact on the character of the home, as a listed building, in terms of its size, design and window detail.

4. Approval would be contrary to Local Development Plan 2 Policy 1A by virtue of the proposed extension's design, in terms of its massing, layout, window detail and significant loss to planform legibility, which would not respect the character and amenity of the place.
5. Approval would be contrary to Local Development Plan 2 Policy 1B (c) where the proposed extension's design, in terms of massing, layout and window detail, would not complement and result in detrimental loss to the listed property's form, profile, plan form and character.
6. Approval would be contrary to Local Development Plan 2 Policy 27A where the proposed extension would not seek to preserve the listed building's character, special architectural and historic interest and setting. This is by virtue of the proposed extension's detrimental design, massing, layout and window detail, significant loss to planform legibility and resultant detrimental alterations to original historic fabric.

Justification

The proposal is not in accordance with the Development Plan and there are no material reasons which justify departing from the Development Plan.

Informatives

- 1 All reasons for refusal are as informed by PKC Placemaking Supplementary Guidance, HES' Managing Change in the Historic Environment Guidance on 'Extensions', 'Roofs' and 'Windows', HES 'Interim Guidance on the Principles of Listed Building Consent' and the Historic Environment Policy for Scotland.

The plans and documents relating to this decision are listed below and are displayed on Perth and Kinross Council's website at www.pkc.gov.uk "Online Planning Applications" page.

Plan Reference

01 20
02 21
04 23
05 27
06 28
07 29
08 30
09 31
10 32
11 33
12 34
14 35
15 36
16 37
17 38
18 39
19

REPORT OF HANDLING

DELEGATED REPORT

Ref No	25/00806/FLL	
Ward No	P5- Strathtay	
Due Determination Date	29th July 2025 extended to 8th August 2025	
Draft Report Date	7 th August 2025	
Report Issued by	Andrew Rennie	Date 8.8.25

PROPOSAL: Alterations and extension to dwellinghouse, erection of a garage and plant building, installation of a retaining wall, alterations and extension to access road, formation of patio and associated works

LOCATION: Boat Of Murthly Dunkeld PH8 0JA

SUMMARY:

This report recommends **refusal** of the application as the development is considered to be contrary to the relevant provisions of the Development Plan and there are no material considerations apparent which justify setting aside the Development Plan.

BACKGROUND AND DESCRIPTION OF PROPOSAL

Boat of Murthly is a traditional detached dwellinghouse once comprising of two symmetrical semi-detached dwellinghouses. The property is not within a settlement boundary and is located around 4.5 kilometres South-East from Dunkeld. It can be accessed via private track connecting to the A984 to the North. Relatively secluded, the category B listed building (HES ref. LB4456) is located on the banks of the River Tay, within a significantly wooded setting, and the River Tay National Scenic Area. Due to the proximity of the River Tay, there are instances of medium likelihood river flooding. There are no other specific constraints or designations relevant to the nature of development proposed.

This application seeks detailed planning permission for the erection of a connected two-storey and storey-and-a-half extension to the property's rear (north) elevation; the erection of a single-storey double garage and plant building within rear curtilage grounds; the installation of a retaining wall for additional flood protection and to support an altered and extended access road and the formation of a flagstone hardstanding area.

This application follows withdrawal of previous application refs. 25/00181/FLL and 24/01939/FLL, in seeking an alternative design and additional detail, with all elements now combined into one single planning application.

An associated application for listed building consent (ref. 25/00807/LBC) has also been submitted and shall be assessed separately.

SITE HISTORY

PK/69/178	Erection of double garage 1 Jul 1969 Application Approved
PK/69/1106	Alterations and extension to house 8 Jan 1970 Application Approved
PK/93/0480	Construction of a flood protection barrier 18 May 1993 Application Approved
24/01935/LBC	Alterations and extension to dwellinghouse 4 April 2025 Application Withdrawn
24/01939/FLL	Alterations and extension to dwellinghouse 4 April 2025 Application Withdrawn
25/00181/FLL	Erection of ancillary accommodation, plant and garage building and formation of access track 4 April 2025 Application Withdrawn
25/00445/LBC	Repairs to chimneys 29 May 2025 Application Approved

PRE-APPLICATION CONSULTATION

Pre application Reference: 13/00298/PREAPP.

This pre-application advice enquiry related to the alterations and extension of 2 semi-detached properties to form one single dwellinghouse. A follow-up planning application, listed building consent or building warrant was not submitted.

DEVELOPMENT PLAN

The Development Plan for the area comprises National Planning Framework 4 (NPF4) and the Perth and Kinross Local Development Plan 2 (2019) (LDP2).

National Planning Framework 4

The National Planning Framework 4 (NPF4) is the Scottish Government's long-term spatial strategy with a comprehensive set of national planning policies. This strategy sets out how to improve people's lives by making sustainable, liveable and productive spaces.

NPF4 was adopted on 13 February 2023. NPF4 has an increased status over previous NPFs and comprises part of the statutory development plan.

The Council's assessment of this application has considered the following policies of NPF4:

- Policy 3: Biodiversity
- Policy 4: Natural Places
- Policy 6: Forestry, Woodland and Trees
- Policy 7: Historic Assets and Places
- Policy 14: Design, Quality and Place
- Policy 16: Quality Homes
- Policy 18: Infrastructure First
- Policy 22: Flood Risk and Water Management

Perth and Kinross Local Development Plan 2 – Adopted November 2019

The Local Development Plan 2 (LDP2) is the most recent statement of Council policy and is augmented by Supplementary Guidance. The principal policies are:

- Policy 1A: Placemaking
- Policy 1B: Placemaking
- Policy 2: Design Statements
- Policy 27A: Listed Buildings
- Policy 38B: Environment and Conservation: National Designations
- Policy 40A: Forestry, Woodland and Trees: Forest and Woodland Strategy
- Policy 40B: Forestry, Woodland and Trees: Trees, Woodland and Development
- Policy 41: Biodiversity
- Policy 52: New Development and Flooding
- Policy 53B: Water Environment and Drainage: Foul Drainage
- Policy 53E: Water Environment and Drainage: Water Supply
- Policy 56: Noise Pollution
- Policy 60B: Transport Standards and Accessibility Requirements: New Development Proposals

Statutory Supplementary Guidance

- [Supplementary Guidance - Flood Risk and Flood Risk Assessments](#) (adopted in 2021)
- [Supplementary Guidance - Placemaking](#) (adopted in 2020)
- [Supplementary Guidance – Landscape](#) (adopted in 2020)

OTHER MATERIAL CONSIDERATIONS

Non-Statutory Guidance

- [Planning Guidance - Planning & Biodiversity](#)
- [Special Qualities of the National Scenic Areas](#)
- [Managing Change in the Historic Environment: Extensions](#)
- [Managing Change in the Historic Environment: Roofs](#)
- [Managing Change in the Historic Environment: Windows](#)
- [Interim Guidance on the Principles of Listed Building Consent](#)
- [Historic Environment Policy for Scotland](#)

National Guidance

The Scottish Government expresses its planning policies through, Planning Advice Notes, Creating Places, Designing Streets, National Roads Development Guide and a series of Circulars.

Planning Advice Notes

The following Scottish Government Planning Advice Notes (PANs) and Guidance Documents are of relevance to the proposal:

- PAN 51 Planning, Environmental Protection and Regulation
- PAN 60: Natural Heritage
- PAN 68 Design Statements

CONSULTATION RESPONSES

External

Scottish Water

No objection and advice provided. Service cannot be guaranteed and there is no public water infrastructure in the vicinity and the applicant is advised to investigate private options. There is no public waste water infrastructure in the vicinity and the applicant is advised to investigate private treatment options. No new connections into Scottish Water combined sewer system will be permitted. The applicant is advised to submit a pre-development enquiry (PDE) to Scottish Water to fully appraise the proposal (ref. DSCAS-0134688-87J).

Perth And Kinross Heritage Trust

No concerns or objection in relation to MPK2279 archaeological interest.

Internal

Conservation Officer (1st consultation)

Significant concerns and objection, relating to the proposed extension. The extension would result in an insensitive overdevelopment which does not respect the building's character, setting or detail as a whole. There would be a resultant loss of historic detailing and symmetrical layout, thus impacting on the building's original symmetrical external and internal character and legibility as two cottages. Efforts to retain the 'west cottage' as original as possible is welcomed but would still be impacted by the extension's overdevelopment. The use of plant-on astragal detailing is not supported. Demolition of unsympathetic extensions and removal of the south bay window are welcomed. There are no concerns with the proposed garage building's impact on listed building setting or with its material finishes. There would be a reorientation of the building away from the historic principal elevation. Sufficient space would remain to allow the principal elevation to be used as primary entrance and therefore efforts to retain the south as primary entrance would be welcomed. Other elements of concern are included as part of the associated listed building consent consultation summary.

Conservation Officer (2nd consultation)

Significant concerns and objection remain. Minor external changes including a slight reduction of extension height and the addition of two rooflights do not satisfy concerns previously raised. Other elements of concern are included as part of the associated listed building consent consultation summary.

Environmental Health (Noise)

No concerns or objection subject to conditions, if minded to approve. It has been assessed that plant noise would not adversely affect residential amenity of nearby dwellinghouses provided the plant equipment is adequately sited and maintained.

Structures And Flooding

No concerns or objection. Informatives recommended, if minded to approve.

Biodiversity Officer

No concerns or objection subject to conditions, if minded to approve, in relation to the bat survey report. Sufficient information has been provided within the Bat Survey Report. Due to the presence of bat roosts, no works can be undertaken before a derogation licence from NatureScot has been issued. Nest boxes should be provided on the completed buildings as compensation for any destroyed bird nests. Insufficient information has been provided within the tree survey report with respect to tree plotting and a tree protection plan.

REPRESENTATIONS

Two representations of support were received. These representations primarily relate to non-planning matters such as significant investment for long-term use and specific elements to listed building consent assessment. The representations do not support retention of historic features (internal and external), and sustainable design elements.

Additional Statements Received:

Screening Opinion	Not Required
Environmental Impact Assessment (EIA): Environmental Report	Not applicable
Appropriate Assessment under Habitats Regulations	AA Not Required
Design Statement or Design and Access Statement	Submitted
Report on Impact or Potential Impact eg Flood Risk Assessment	Submitted

APPRAISAL

Sections 25 and 37 (2) of the Town and Country Planning (Scotland) Act 1997 require that planning decisions be made in accordance with the development plan unless material considerations indicate otherwise. The Development Plan comprises NPF4 and the Perth and Kinross Local Development Plan 2019. The relevant policy considerations are outlined in the policy section above and are considered in more detail below. In terms of other material considerations, involving considerations of the Council's other approved policies and supplementary guidance, these are discussed below only where relevant.

In this instance, section 14(2) of the Planning (Listed Buildings and Conservation Areas) (Scotland) Act 1997 places a duty on planning authorities in determining such an application as this to have special regard to the desirability of preserving the building or its setting or any features of special architectural or historic interest which it possesses.

The determining issues in this case are whether; the proposal complies with development plan policy; or if there are any other material considerations which justify a departure from policy.

Policy Appraisal

Alterations and extensions to an existing dwellinghouse, including the erection of domestic outbuildings and other small-scale improvements, are generally considered to be acceptable in principle. Nevertheless, consideration must be given to the scale, form, massing, design, position, proportions and external finishes of the proposed development, within the context of the application site, and whether it would have an adverse impact upon visual, residential or environmental amenity.

Design, Layout and Amenity

This application seeks to erect a linked two-storey and storey-and-a-half extension to the property's rear (north) elevation; the erection of a single-storey double garage and plant building within rear curtilage grounds; the installation of a retaining wall for additional flood protection and to support an altered and extended access road; and the formation of a flagstone hardstanding area. Other proposed development around the property and within its curtilage is identified to be permitted development and are not assessed as part of the planning application.

All proposed elements within the overall submission have been separated into distinct sections in the interests of ease and clarity.

Alterations and extension to access road, and retaining wall

There are no concerns with the proposed alterations to the existing access road in the formation of a safer incline and sweeping route to the proposed garage and plant building. The access road would be supported by two retaining walls noted to increase to 0.5 metres in height when reaching the existing flood protection bank crest, thus working with existing topographical levels. The existing access road would be topped up with soil and grass-seeding which is an acceptable approach. The access road, parking area and path to the dwellinghouse would result in a permeable gravel finish which is considered appropriate to mitigate against any additional surface water run-off.

Following a pragmatic approach, site cross-sections for the retaining walls were not sought during the consideration of the application due to there being significant concerns with the extension to the dwellinghouse. If the proposal were to be supported, cross-sectional detail inclusive of material finishes would be required prior to commencement.

Garage and plant building

As informed by Placemaking Supplementary Guidance, garage buildings "should be subordinate to the original building and should not obscure the approach to the house; be set back from the frontage; and be built with materials which respect the house and its surroundings."

The proposed garage and plant building is sizeable however its proposed footprint would remain relative to the existing and resultant dwellinghouse. The outbuilding's

ridge height would not exceed the host dwellinghouse's ridge height and would be sufficiently set back from the property, its principal elevation and would not be visible on initial approach. A suitable siting and design, it would avoid cumulative massing effect. In respect of material finishes, these are respectful to the host property comprising of nature stone, natural slate, painted timber windows and doors, and painted cast iron rainwater goods.

There are no concerns with the proposed outbuilding's siting, scale, design, layout or proportionality.

Hardstanding area

Located off the property's east elevation, there are no concerns with the layout or flagstone material finish for the proposed hardstanding patio area.

Rear extension

The proposed rear (north elevation) extension would consist of a two-storey extension and a storey-and-a-half extension, connected by a half mansard-style (partly sloped and partly flat roofed) link extension. At ground floor level, the proposed extension would consist of three external entrances, a new stairwell, a utility room, WC and open-plan kitchen-dining area. At first floor level, it would consist of two bedrooms with en-suites and the upper landing. The existing breakfast room extension (east elevation) and double garage, workshop and ancillary accommodation building extension (north elevation) would be removed to accommodate the development.

All reinstatement efforts, including removal of the south bay window, to original layout and character are very positive and welcomed in returning the property's principal and side elevation to its original layout, as evidenced by the historic image (see Fig. 1) taken from the Design and Access Statement (document 29, p7).

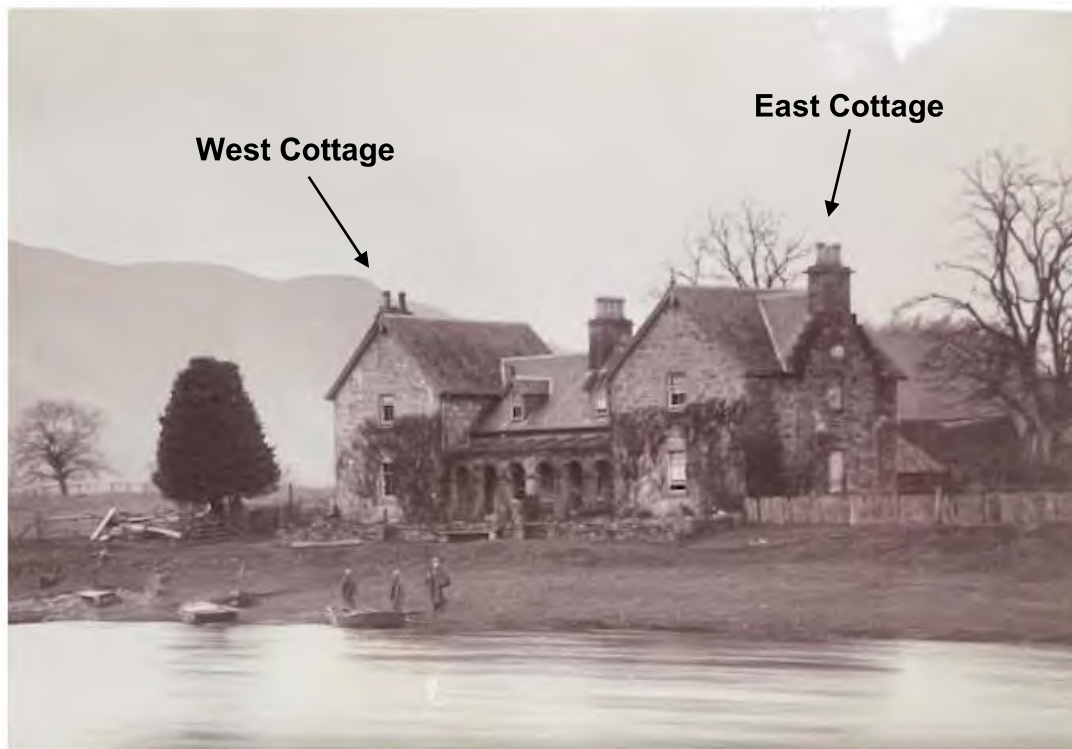


Fig 1. Boat of Murthly. Historic photo – mid 1900s, identifying the two original cottages.

Extension Design and Layout

As informed by Placemaking Supplementary Guidance, “extensions should respect the shape, scale and proportions of the existing building and relate to the roof pitch and original building depth. In most cases an extension should be a subordinate addition in *all* respects. Individual elements of a building must work together to create a coherent, balanced and proportionate design that balance. Whether symmetrical or asymmetrical, the overall composition should be balanced and proportionate. The building envelope, windows and doors, eaves and roof ridgeline should all work in balance with each other. It is important to harmonise with traditional buildings. Extensions should seek to achieve a building depth which respects traditional building forms. Rear extensions should be appropriately designed. Two-storey extensions may be acceptable should the design be satisfactory and there would be no unacceptable loss of sunlight, daylight or privacy to adjoining properties.”

The existing property’s rear (north) elevation is characterised by its gable ends, pitched roofs and lowered central ridge forming an impressive catslide roof to near-ground level which still retains a legible symmetrical layout and profile when viewed from the north. Presently, the c1970s extension by virtue of its sensitive depth, positioning, roof form and connection to the host property with complementary material finishes avoids competing with the historic building.

The proposed extension development consists of a two-storey element and a central storey-and-a-half element with a connecting link extension consisting of a part flat and part sloped roof. The full extension seeks to replicate gable-ends and pitched roofs, with a lean-to addition.

It is positive to note that the proposed two-storey element (east wing) would continue below the host property's original roof ridge height, rather than the c1970s extension (to be removed) ridge line, and would be set back from the side (east) elevation building line thus exposing original quoin stonework. Similarly, it is positive to see the central extension's design set below the lowered central ridge line.

In plan form there are no concerns with proposed building depth footprint (approx. 16m) in comparison to original building depth footprint (approx. 11.3m) which remains relative to original traditional dwellinghouse depth. However, it is considered the proposed extension would result in a significantly disproportionate and 'east-heavy' massing imbalance. Although lowered from the original ridge lines and of acceptable depth, it cannot be supported as being fully subservient. There is concern that the proposed extension's massing and balance overwhelms the property's north elevation (see Fig. 2 for ease of reference).

It is considered that the c1970s rear two-storey extension presented a more sympathetic design that safeguarded rear elevation character and balance, during a time when the property was *not* listed. The proposed extension's design on the now listed property (designated 09/06/1981) would not result in an appropriately designed rear extension for a traditional, historic and listed building in respect of its balance, massing and layout.





Fig 2. Existing and proposed west elevation (plans 04 and 35); existing and proposed east elevation (plans 04 and 23); and existing and proposed north (rear) elevation (plans 05 and 35).

As informed by HES Managing Change in the Historic Environment ‘Extensions’ guidance, extensions “must protect the character and appearance of the building”, “should be subordinate in scale and form”, “should be located on a secondary elevation” and “must be designed in a high-quality manner using appropriate materials”. Although located on a secondary elevation, the proposed extension would not be entirely subordinate in form, shape and layout and would undermine and imbalance the property’s current shape, profile and character whilst also threatening the original, simple and modest design concept.

Additionally, the connecting ‘link’ extension (as outlined in Fig. 3) would result in an overcomplicated and incongruous roof layout that contributes to inappropriate massing, insensitive roof layout alterations and connections that undermine the simple traditional

arrangement offered by the original form, existing catslide roof and modern c1970s two-storey extension (see Fig. 3).

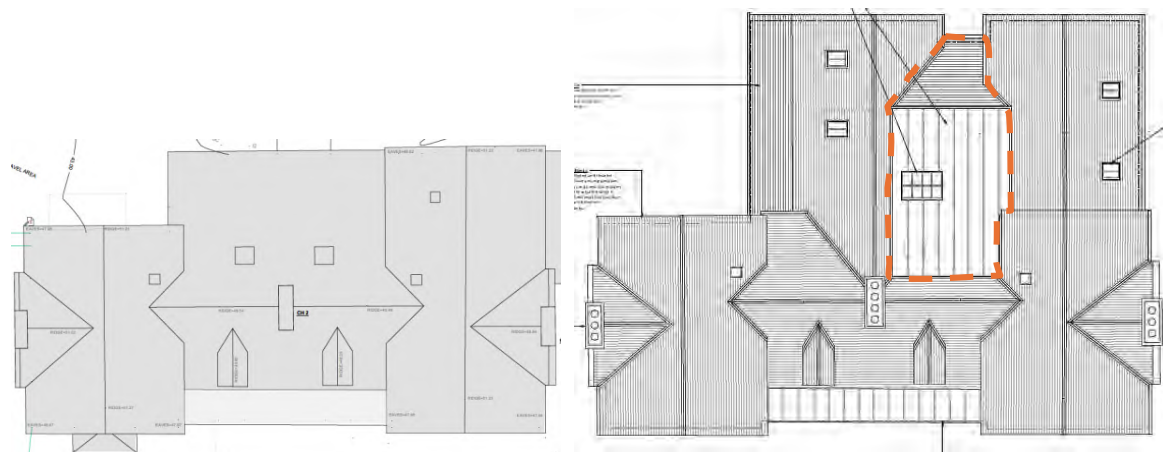


Fig 3. Existing roof plan (plan 08) and proposed roof plan (plan 38).

As informed by HES Managing Change in the Historic Environment on 'Roofs', para 4.3 notes that "alterations to subsidiary elevations [...] are likely to have less visual impact on the character of a building." In the interests of clarity, and as argued by the agents in their supporting information, the rear elevation is not considered a subsidiary elevation given that this elevation features significant architectural character which, if unsympathetically altered or extended, would result in detrimental change and character erosion.

It is therefore considered that the proposed extension would not respect the host property's shape, form or fully relate to existing roof pitches resulting in an imbalanced and disproportionate design which does not harmonise with the traditional building. The proposed extension is not subordinate in *all* respects. Minimal impact solutions do not seem to have been fully explored.

Material Finishes

In respect of finer detail and material finishes, as informed by Placemaking Supplementary Guidance, the use of traditional materials and detailing can assist in the overall sense of local character. Careful consideration of finishes and detailing can allow development to integrate and harmonise with the existing building.

There are no concerns with the use of slate roofing, lead flashing, conservation-style rooflights, appropriate stone margins and lime render for external walls. The Design and Access Statement (DAS) confirms stone quoin margins however the submitted dwellinghouse plans show stone margins that are uniform in appearance and lacking character, rather than being staggered in typical quoin arrangement. The DAS also clarifies that proposed doors would be timber finish. If the proposal were to be supported, additional material finish detail would be required prior to commencement.

New double-glazed timber windows are proposed for the extension, principal elevation and side (east) elevation with timber astragal plant-on detail. Detailed assessment can be undertaken for the proposed extension only. All other window alterations and replacement are covered by the associated listed building consent assessment.

As informed by Placemaking Supplementary Guidance, for listed buildings, it must be ensured that “replacement windows match the original in every detail including materials, design, opening method and paint finish.” Similarly, as informed by principles within HES Managing Change in the Historic Environment ‘Windows’ guidance, replacement windows should seek to match the original windows in design, form, fixing, method of opening and materials. The success of a replacement window will depend on its detailed design, and on how well the new replicates the old. Astragal profiles should match the original as closely as possible and through (structural) astragals should be provided.” Although the guidance relates to replacement windows, the same principles apply to new windows.

Within the Design and Access Statement, it clarifies that the size of the existing astragals would not be sufficient to be replicated for new double-glazed windows. In order to retain the existing astragal proportions (14mm), painted timber plant-on astragals are proposed instead (plan 39). The agents had further clarified (document 33) that an alternative solution (not proposed) would be to increase the size of astragal profiles (see Fig. 4), which would not only appear mismatched in rooms and on elevation, would also be contrary to guidance.

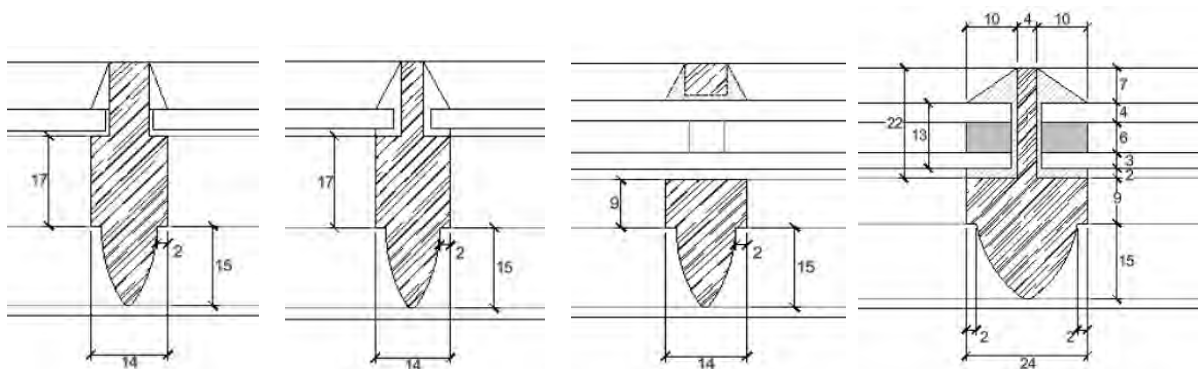


Fig 4. L-R: Existing astragal detail (14mm). Proposed replacement window with single glazing and structural astragal detail (14mm). Proposed replacement window with double glazing and non-structural/plant-on astragal detail (14mm). Alternative structural astragal window detail (not proposed) (24mm).

Plant-on astragals are contrary to guidance and would not be appropriate design finishes for a listed building. It does not seem that all sympathetic structural alternatives that either match or are close to the existing 14mm astragals have been fully explored.

Development and Visual Amenity

As noted within the Heritage Statement (document 31), “the assessment [of significance] is founded on the professional judgment of the authors. It establishes parameters for appropriate and sensitive change at the site, ensuring that significant elements of its design, fabric and history can be preserved and enhanced.” This is accepted. Justification for removal of the rear catslide roof concludes it is rear service area where the special interest of the site resides primarily in its south elevation and its relationship with its setting. It is not accepted that the rear of the building “makes a lesser contribution to the special interest of the house than the south elevation” (document 31, para 3.3) given that the rear catslide roof offers equal architectural importance and visual amenity value in addition to the property’s principal elevation, side elevations and its setting. The catslide roof and characterful gable ends are fundamental character features to the original rear historic layout, roofscape and planform.

Guided by HES Managing Change in the Historic Environment ‘Extensions’ guidance paras 6.1 and 6.2, “a planning authority will consider the special interest of the existing roof and the visibility of the extension in views” and “where the external form is significant to the character of the building [...] a roof extension will not be appropriate that destroys this.” It is considered that the proposed extension and associated roof alterations would result in a significantly detrimental visual amenity impact that would also seek to destroy the building’s external form and character.

Engagement and Consultation

Previously, the agent had agreed to withdraw two applications for planning permission (refs. 25/00181/FLL and 24/01939/FLL) and one application for listed building consent (ref. 24/01935/LBC), following advice and guidance to seek an alternative design, supplemented by requisite surveys and detail, that could hopefully be supported.

Positive collaborative engagement resulted in initial steps being made to concentrate development to the east wing as this area had already undergone more substantial changes and alterations. However, the new lean-to element would protrude into the ‘west wing’ (former west cottage) which fails to protect and safeguard original design, form and character. Enhanced householder pre-application advice had been offered, and would continue to be offered, should any follow-up application(s) be submitted.

Although not a consultation requirement as part of the planning application, Historic Environment Scotland’s comments on the associated listed building consent have informed the planning application’s assessment. Internal consultation was carried out with a PKC Conservation Officer for both the planning application and listed building consent, informing both assessments.

No objection was raised by Historic Environment Scotland (HES) however a detailed response was provided. Within their response HES highlighted the proposed extension development is significant with a height and massing that visually dominate the

elevation and roofscape and their preference is for retention of the catslide roof as an important architectural feature.

On consultation with a PKC Conservation Officer, significant concerns and objection were raised in respect of the proposed extension and its window detail, as well as other alterations to be considered as part of the listed building consent application. In agreement with the consultation response, the Design and Access Statement's visual (see document 29, p14) clearly demonstrates overdevelopment of the rear elevation and resultant roofscape character loss. The proposed development would result in the erosion of a sense of legibility to the largely retained symmetrical nature of the building, original character and form. Referring back to PKC Placemaking Supplementary Guidance, the proposed extension is not subservient to the [listed] building, especially when taking a holistic visual approach.

In response to continued concerns, a 'supporting cover letter response' (document 39) and revised plans and drawings were provided. External revisions included a decrease to the central extension's ridge height; addition of rooflights to break up visual massing; justification for the use of plant-on astragals; and reiteration that the proposed extension is a subordinate addition.

Reconsultation was carried out with the PKC Conservation Officer, concluding that the revisions made were minimal and did not satisfactorily resolve all concerns as previously raised.

Sub-section Conclusion

Ultimately, by virtue of all cumulatively detrimental impacts presented by the proposed extension, as demonstrated in the 'Rear Extension' sub-section, the development would result in an inappropriate design, massing, form, window finish and layout as a harmonious connection to the host listed property. Offering a relative depth, setting the extension below the original roof ridge lines, setting back from the east elevation line and introducing rooflights on the west-facing roof plane does not negate all other significant concerns. The proposed extension would result in visual and historic fabric harm and original planform legibility loss all contributing to an insensitive overdevelopment of the property's rear elevation and would not be a subservient addition in *all* respects.

It is considered that all alternatives have not yet been satisfactorily investigated and, similarly, minimal intervention methods do not seem to have been fully explored to develop less intrusive and harmful development. The property is also a listed building which requires improved sensitive design approaches to safeguard its character, special architectural and historic interest.

HES 'Interim Guidance on the Principles of Listed Building Consent' has been used in the case's assessment where paragraph 5 clarifies that "listed building consent is separate from the statutory planning process but there is a close relationship between

them and this guidance should therefore be read in conjunction [...].” “The planning authority is required to have special regard to the desirability of preserving the building, or its setting, or any features of special architectural or historic interest which it possesses” (see para 3) ensuring that works to the listed building are “done in a sensitive and informed manner” (see para 6).

With reference to paragraph 15 (a-d), the Planning Authority is satisfied in reaching a fully informed and justified decision where: (a) the relative importance of the special interest of the building has been considered; (b) the scale of the impact of the proposals on that special interest has been considered; (c) it is considered there are other options which would ensure a continuing beneficial [domestic] use for the building with less impact on its special interest; and (d), limited to the construction phase of development, there would be no significant benefit for economic growth or for the wider community.

Similarly, as informed by Historic Environment Policy for Scotland (HEPS), the proposed extension development would not comply with ‘Managing Change’ policies and principles (HEP2-4) where it would not protect or enhance the property’s special characteristics and qualities, less detrimental alternatives do not appear to have been fully considered and intervention to the listed building’s historic fabric has not been kept to a minimum.

The proposal does not comply with NPF4 Policy 7 (c), 14 (a, b and c) and 16 (g)(i); LDP2 Policy 1A, 1B (b, c and g), and 27A; and as informed by PKC Placemaking Supplementary Guidance, HES Managing Change in the Historic Environment Guidance on ‘Extensions’, ‘Roofs’ and ‘Windows’, and the Historic Environment Policy for Scotland. The proposal complies with LDP2 Policy 2 in providing a Design and Access Statement.

Residential Amenity

One neighbouring property is located directly to the west of Boat of Murthly. Specifically, as the proposed extension development would be positioned at more than 9 metres distance from each curtilage boundary, there are no overlooking or privacy concerns, despite the extension featuring a two-storey element. Equally, there are no overshadowing concerns for either the proposed extension or the proposed outbuilding.

The proposal complies with NPF4 Policy 16 (g)(ii) and LDP2 Policy 56.

Roads and Access

As noted within the ‘Design, Layout and Amenity’ section above, there are no concerns with the proposed garage provision, extended access road or parking area arrangements which would continue to support the resultant dwellinghouse’s needs, without any detrimental impact to landscape or setting.

If the proposal were to be supported, cross-sectional detail inclusive of material finishes

for the supporting retaining walls would be required prior to commencement.

The proposal, with appropriate conditions and informatives, would comply with NPF4 Policy 18, LDP2 Policy 60B and as informed by the National Roads Development Guide.

Drainage and Flooding

A Flood Risk Assessment (FRA) (see document 30) was submitted as part of the application which has suitably identified all elements of flood risk and provided appropriate recommendation. The report concluded that “the proposed revised house layout will not be at increased risk of flooding, the new garage and plant room building will not be at risk. The overall development proposals will not cause an increase in flood risk to third party property, and that there will be no resultant loss of flood storage. Pedestrian access to and egress from the site is available in either direction during a design flood. Access for emergency vehicles is possible at all times via a woodland track at the rear of the site.”

On consultation with PKC Flooding Team, and in reviewing the FRA, no concerns or objection were raised subject to application of a recommended informative in line with the FRA's recommendations. The proposed development would be acceptable subject to the application of relevant and appropriate conditions (i.e. finished floor levels, Bund levels, pump system and wall upstands).

The applicant/developer is advised to note the comments made by Scottish Water within the ‘consultation response’ section where it has been identified the private water and private waste water solutions should be investigated. It is acknowledged that the proposed plant building would host private water equipment.

The proposal, with appropriate conditions and informatives, would comply with NPF4 Policy 22, LDP2 Policy 52, 53B and 53E and as informed by Flood Risk and Flood Risk Assessments Supplementary Guidance.

Natural Heritage and Biodiversity

The application site is located within the River Tay National Scenic Area. There are no concerns that the proposed development would detrimentally affect the special qualities and character of the localised or wider National Scenic Area.

A Bat Survey, Bird and Protected Species Assessment (document 28) and Tree Survey (document 32) were submitted to support the proposed development.

On consultation with the PKC Biodiversity Officer, it was confirmed that all methods in the submitted Bat Survey, Bird and Protected Species Assessment were in accordance with best practice. However, insufficient detailed information within the Tree Survey where no plan showing plotted trees or tree protection measures were included.

Following a pragmatic approach, additional tree survey detail was not sought during the consideration of the application due to there being significant concerns with the extension to the dwellinghouse.

The proposal, with appropriate conditions and informatives, would comply with NPF4 Policy 3, 4 (c) and 6 (b); LDP2 Policy 38B (a), 40A (b, d and e), 40B and 41. All as informed by PKC Planning for Nature Supplementary Guidance, PKC Landscape Supplementary Guidance and NatureScot's 'The Special Qualities of the National Scenic Areas: NatureScot Commissioned Report No. 374'.

CONCLUSION AND REASONS FOR DECISION

To conclude, the application must be determined in accordance with the Development Plan unless material considerations indicate otherwise. In this respect, the proposal is considered to be contrary to the Development Plan. Account has been taken of the relevant material considerations and none has been found that would justify overriding the Development Plan.

Accordingly, the proposal is refused on the grounds identified below.

Reasons

1. Approval would be contrary to National Planning Framework 4 Policy 7 (c) where the proposed extension would not seek to preserve the listed building's character, special architectural and historic interest and setting. This is by virtue of the proposed extension's detrimental design, massing, layout and window detail, significant loss to planform legibility and resultant detrimental alterations to original historic fabric.
2. Approval would be contrary to National Planning Framework 4 Policy 14 (a) where the proposed extension would not be designed to improve the quality of the area; (b) where it would not be consistent with the 'distinctive' quality of a successful place by virtue of its design, massing, layout, window detail and significant loss to planform legibility; and (c) where it fails to provide a high quality and sensitive design, inconsistent with the six qualities of a successful place.
3. Approval would be contrary to National Planning Framework 4 Policy 16 (g)(i) where the proposed extension would have a detrimental impact on the character of the home, as a listed building, in terms of its size, design and window detail.
4. Approval would be contrary to Local Development Plan 2 Policy 1A by virtue of the proposed extension's design, in terms of its massing, layout, window detail and significant loss to planform legibility, which would not respect the character and amenity of the place.

5. Approval would be contrary to Local Development Plan 2 Policy 1B (c) where the proposed extension's design, in terms of massing, layout and window detail, would not complement and result in detrimental loss to the listed property's form, profile, planform and character.
6. Approval would be contrary to Local Development Plan 2 Policy 27A where the proposed extension would not seek to preserve the listed building's character, special architectural and historic interest and setting. This is by virtue of the proposed extension's detrimental design, massing, layout and window detail, significant loss to planform legibility and resultant detrimental alterations to original historic fabric.

Justification

The proposal is not in accordance with the Development Plan and there are no material reasons which justify departing from the Development Plan.

Informatives

- 1 All reasons for refusal are as informed by PKC Placemaking Supplementary Guidance, HES' Managing Change in the Historic Environment Guidance on 'Extensions', 'Roofs' and 'Windows', HES 'Interim Guidance on the Principles of Listed Building Consent' and the Historic Environment Policy for Scotland.

Procedural Notes

Not Applicable.

PLANS AND DOCUMENTS RELATING TO THIS DECISION

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HISTORIC
ENVIRONMENT
SCOTLAND

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ALBA

By email to:
Developmentmanagement@pkc.gov.uk

Perth and Kinross Council
Pullar House
35 Kinnoull Street
Perth
PH1 5GD

Longmore House
Salisbury Place
Edinburgh
EH9 1SH

Enquiry Line: 0131 668 8716
HMConsultations@hes.scot

Our case ID: 300080540
Your ref: 25/00807/LBC
24 June 2025

Dear Perth and Kinross Council

Planning (Listed Building Consent and Conservation Area Consent Procedure)
(Scotland) Regulations 2015
Boat Of Murthly, Dunkeld PH8 0JA - Alterations and extension to dwellinghouse.

Thank you for your consultation which we received on 06 June 2025. The proposals affect:

Ref	Name	Designation Type
LB4456	BOAT OF MURTHLY	Listed Building

Our Advice

The proposals are for substantial internal and external alterations to this [category B](#) listed building that include large extensions to the rear. We have been involved in providing comments on a similar proposal (your ref 24/01935/LBC, withdrawn) and at pre-application stage for this current proposal. We also visited the property and discussed the proposals with your Council and the agent on 14 February. We welcome the changes to the front (south) elevation that follow our earlier advice. We have some additional comments relating to the loss of historic fabric and how this could be mitigated to retain architectural and historic features of interest where possible.

Boat of Murthly comprises two adjoining 2-storey cottages that have been converted to one dwelling. Built in 1864 by the Murthly Estate on the site of an earlier ferryman's cottage on the River Tay, at least one of the cottages was designed to house a ferryman, allowing them to see those wishing to travel on either side of the river. While some later 20th century additions have detracted from its symmetrical elevations, Boat of Murthly is relatively unaltered internally and externally, and is a high-quality example of estate workers' cottages of the late 19th century 'improvement' era. Of architectural interest are the unusual six arched loggia to the principal (south) elevation, the impressive catslide roof to the rear



(north) elevation, the unaltered floor plan, the timber panelling throughout the lower ground of the interiors, and the original stairways.

External alterations

We welcome the removal of the modern bay window and breakfast room (east extension) because this would reinstate the intended symmetry of the principal elevation and have the potential to enhance the historic and architectural character of the building. We also support the changes to the loggia, which would reverse later, unsympathetic alterations.

The proposals include significant alterations to the rear (north) elevation of the building. This would involve taking down various modern extensions, rebuilding the two-storey extension to the northeast, and removal of the historic outshot to the north with characterful catslide roof. We previously advised against the removal of the catslide roof outshot because we consider it's an important architectural feature and its loss, including the proposed north extension and reorientated principal entrance to this elevation, would have the potential to detract from our understanding of the building.

While we maintain our preference for the retention of the historic outshot, we could accept the principle of its removal (and retention of the outshot walls as proposed) because the replacement extension would seek to improve the circulation through the historic building and the impact is balanced with conservation gains elsewhere in the building. However, we consider the height and massing of the current north extension visually dominates this elevation and the roofscape, when viewed from the west, has a flat and solid appearance. We would encourage the applicant to explore amendments to the north extension design that would lighten / soften the impact on the listed building (e.g., use of different materials; reduction in height; creation of openings to the west roof slope).

Slates from the outshot should be retained for re-use for repairs to the principal elevation, or new rear extensions, where possible.

Internal alterations

We support the intention to retain the existing staircase in the west cottage, however it is unclear how this will be blocked off. Our preference would be for a more permeable solution than complete closure of this access (e.g., a gate, if safety is a concern).

When carrying out alterations to the floors, care should be taken when lifting floorboards to minimise damage to historic fabric.

Insulation to the historic roof is proposed but there was no material specification submitted with the application. There are plenty of good performing materials and retrofit methods which are suitable for use in traditional buildings. Please see our [Guide to Energy Retrofit of Traditional Buildings](#) for advice on materials and good practice.

Planning authorities are expected to treat our comments as a material consideration, and this advice should be taken into account in your decision making. Our view is that the proposals do not raise historic environment issues of national significance and therefore we



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do not object. However, our decision not to object should not be taken as our support for the proposals. This application should be determined in accordance with national and local policy on listed building area consent, together with related policy guidance.

Further Information

This response applies to the current proposal. An amended scheme may require another consultation with us, which should be sent to HMConsultations@hes.scot.

Decisions affecting the historic environment should take the [Historic Environment Policy for Scotland](#) (HEPS) into account as a material consideration. Our series of [Managing Change in the Historic Environment Guidance Notes](#) supports national policy on the historic environment, including HEPS, and explains how it should be applied. Technical advice is available through our Technical Conservation website at www.engineshed.org.

Please contact us if you have any questions about this response. The officer managing this case is Callum Forman who can be contacted by phone on 0131 668 6807 or by email at callum.forman@hes.scot. However, if you wish to reconsult us on this proposal please email HMConsultations@hes.scot.

Yours faithfully

Historic Environment Scotland

Comments to the Development Management & Building Standards Service Manager on a Planning Application

Planning Application ref.	25/00807/LBC 25/00806/FLL	Comments provided by	Jody Blake IHBC
Service/Section	Conservation	Contact Details	
5dDescription of Proposal	LBC - Alterations & extension to dwellinghouse FLL – Alterations & extension to dwellinghouse, erection of a garage and plant building, installation of a retaining wall, alterations and extension to access road, formation of patio and associated works		
Address of site	Boat Of Murthly, Dunkeld PH8 0JA		
Comments on the proposal	Boat of Murthly is a Category B listed building located on the banks of the River Tay. The subject site is a single dwelling which was formerly two semi-detached cottages that have been converted to a single dwelling. It should be noted that the HES listing description is for 'semi-detached properties'. The cottages date to c1850 and are part single storey with dormers within the roof and a loggia to the front. The Heritage Statement states that the property has been in use as a single-family dwelling for the past thirty years (S&B Heritage Statement) however, a pre-app to convert the two cottages into one was submitted in 2013. The summary statement of significance provided in the Heritage Statement (May 2025, Simpson & Brown) understates the importance of most of the building and fails to include interiors. Contrary to the summary statement of significance provided in the Heritage Statement, the HES consultation response (24/06/25) states that <i>Boat of Murthly is relatively unaltered internally and externally and is a high-quality example of estate workers' cottages of the late 19th century 'improvement era'. Of architectural interest are the unusual six arched loggia to the principal (south) elevation, the impressive catslide roof to the rear (north) elevation, the unaltered floor plan, the timber panelling throughout the lower ground interiors, and the original stair.'</i> Whilst the HES consultation response is not an assessment of significance, it does identify some of the most important features of the listed building. As stated in HES guidance <i>some buildings have interest as little-altered examples of a modest building type. These are harder to extend sympathetically than many more substantial pieces of architecture.</i> <u>Proposed extension:</u> The HES document Managing Change in the Historic Environment: Extensions states that extensions must protect the character and appearance of the building, should be subordinate in scale and form; be located on a secondary		

elevation; and designed in a high-quality manner using appropriate materials.

The proposed extension, whilst demolishing some unsympathetic extensions such as the garage building and side extension (which were likely constructed prior to listing) is welcomed. These are not considered as conservation gains as these later additions do not add to the special interest of the listed building. Removal of the west bay window is however considered a conservation gain.

The proposed extension is not subservient to the listed building, especially when viewed from the rear and sides, as demonstrated from the Design & Access Statement visuals. As informed by PKC Placemaking Supplementary Guidance, *“extensions should respect the shape, scale and proportions of the existing building and relate to the roof pitch and original building depth. In most cases an extension should be a subordinate addition in all respects. Extensions should seek to achieve a building depth which respects traditional building forms. Detailing is key to the successful integration of designs for extensions. Details can determine the character of a building; over-elaborate detailing on an extension where the original architectural style is of a seamless and modest appearance would be inappropriate. Details such as lintels, sills, eaves and verges have to be carefully considered to help integrate any proposed extension. Appropriately designed rear extensions are generally preferable on historic properties”*.



Figure 1 – The Design & Access Statement visual above clearly demonstrates the over development of the building and the loss of the impressive catslide.

Catslide; The argument presented in the Heritage Statement that the rear elevation or servants' section of the building, (i.e. the impressive catslide), is of less importance due to it being a secondary area is not supported. The catslide is an important architectural feature of the building and makes a significant contribution to the overall architectural interest of the building by

demonstrating architectural techniques to roof a single-storey area at the rear of a two-storey element. The size of the catslide roof is also unusual for the area.

Reorientation of the building: The proposal includes a new large entrance porch and entrance hall to the north (historic rear of the building). This would reorientate the building away from the historic principal elevation. Whilst there is a flood defence wall to the historic front (south river facing) elevation of the building, there is sufficient space to allow this to continue to be used as the primary entrance to the building, especially with the proposed redirection of the existing driveway.

Windows: The proposal to use plant-on astragals is not supported. The use of double glazed histoglass is unnecessary and has resulted in the need for plant-on astragals. Thermal improvements to the listed building can be achieved through using single glazed histoglass and other non-invasive less harmful alternatives inclusive of other appropriate retrofit energy efficiency measures. For replacement of existing windows and doors, a window and door survey are required as per the PKC Placemaking Guide.

Internal alterations:

The HES document Managing Change in the Historic Environment: Interiors states that *the interest, experience and joy of a historic interior can be derived from a number of factors including its design, structural plan and layout, the quality of its decorative scheme, materials and craftsmanship, fixtures and fittings...*

The proposal to merge the two cottages through new development would result in the loss of the individual and symmetrical nature of the buildings and would have a detrimental impact to the overall significance of the building. The removal/blocking up of the east cottage internal stairs creates the need for the large two-storey rear extension with flat roofed section to facilitate second floor access. The removal of the east cottage stairs will inhibit the ability to interpret the joined dwelling as two separate cottages historically.

Part of the significance and character of the listed building is the impressive timber panelling to the ground floor interior. HES Interiors guidance states that *even relatively modest interior spaces can display high levels of craftsmanship and quality of materials*. The proposal is to cover the timber panelling with plasterboard sheeting except in the west cottage lounge where it will be retained around the existing fireplace. However, to achieve this, the chimneypiece will be moved forward to align with the new plasterboard wall line. The alteration of

	chimneypieces and installation of plasterboard lining will not only alter the proportions of the space but the interpretation of the ground floor as a simple estate cottage. The installation of plasterboard walls over the existing timber panelling is unnecessary and not essential. Other energy efficiency methods that are less detrimental to the character of the building can be employed to increase the thermal efficiency of the building. More information can be found within HES' Guide to Energy Retrofit of Traditional Buildings. There is an over-compartmentalisation at ground floor level with multiple entrance areas, or thoroughfares, which should be rationalised in the first instance. A sympathetic internal layout approach has not been fully considered. <u>Garage:</u> The proposed garage located to the north of the listed building would be stone clad with a pitched slate roof. The proposed garage would be an improvement on the existing garage which is attached to the rear of the listed building. The current proposal for the garage would not be harmful to the setting of the listed building. Has the principle of additional bedrooms included within a larger garage / ancillary accommodation space been considered to lessen the impacts on the listed building? This could include increasing the roof height to facilitate rooms in a pitched attic space or L-shape layout. If designed sensitively this would unlikely have a harmful impact on the setting of the listed building. <u>Conclusion</u> The proposal would adversely affect the listed building's character, special architectural and historic interest as outlined above and as such fails to comply with PKC LDP2 Policy 27A and NPF4 Policy 7c and as informed by HES' Guidance on Extensions and Interiors; and PKC Placemaking Supplementary Guidance. This consultation response should be read in conjunction with the consultation response provided by Historic Environment Scotland (24/06/2025).
Date comments returned	17/07/2025

**Comments to the Development Management & Building Standards
Service Manager on a Planning Application**

Planning Application ref.	25/00807/LBC 25/00806/FLL	Comments provided by	Jody Blake IHBC
Service/Section	Conservation	Contact Details	
5dDescription of Proposal	LBC - Alterations & extension to dwellinghouse FLL – Alterations & extension to dwellinghouse, erection of a garage and plant building, installation of a retaining wall, alterations and extension to access road, formation of patio and associated works		
Address of site	Boat Of Murthly, Dunkeld PH8 0JA		
Comments on the proposal	This consultation response should be read in conjunction with the initial consultation response (17/07/2025) and the consultation response provided by Historic Environment Scotland (24/06/2025). The following comments are a response to the additional information and revised drawings submitted dated 25/07/2025). The revisions made to the proposal in response to PKC and HES comments are minimal and the overall proposal would fail to preserve the character, special architectural and historic interest of the listed building as required by NPF4 Policy 7c). <u>Proposed extension:</u> The proposed extension has been marginally reduced in height; however, this doesn't lessen the overall bulk of the extension. <u>Catslide:</u> The revised plans still include the demolition of the impressive catslide, however the proposed west roof plane lean-to now has two rooflights in it. <u>Windows:</u> The use of plant-on (non-structural) astragals on replacement or new windows in the listed building is not supported as plant-on astragals would not enhance, the special architectural interest of the listed building. It is appreciated that the energy efficiency of the building requires improvement, however other alternatives to plant-on astragals are available that provide the similar U values. It is noted that a structural astragal (24mm) has been suggested as a potential alternative however it does not seem that all sympathetic alternatives that either match or are close to the existing 14mm astragals have been fully explored.		

	For replacement of existing windows and doors, a window and door survey are required as per the PKC Placemaking Guide which have not yet been received. Any internal door openings which are intended to be blocked up should have the existing door remain and fixed closed to show the historic floor layout. <u>Internal alterations:</u> The retention of the internal timber panelling is welcomed in the revised plans. <u>Other:</u> The 'conservation gains' presented in the proposal are all welcome, however they do not outweigh the adverse impact of the proposed scheme. As existing, the character, special architectural and historic interest of the listed building can be readily interpreted with these elements (bay window to the south elevation, garage and outbuildings, side/rear extension, glazed loggia infill) present. The character, special architectural and historic interest and 360° picturesque setting of the listed building (unusual six arched loggia to the principal (south) elevation, the impressive catslide roof to the rear (north) elevation, the unaltered floor plan, the timber panelling throughout the lower ground interiors, and the original stairs) will be permanently impacted by the proposal. <u>Conclusion</u> The revisions to the proposal would still adversely affect the listed building's character, special architectural and historic interest as outlined above and as such fails to comply with PKC LDP2 Policy 27A and NPF4 Policy 7c and as informed by HES' Guidance on Extensions and Interiors; and PKC Placemaking Supplementary Guidance.
Date comments returned	08/08/2025



Boat of Murthly, Dunkeld

Perth & Kinross Council [PKC] & Historic Environment Scotland [HES]
Consultation Response

Ms J. Maude
July 2025

Simpson & Brown

EXECUTIVE SUMMARY

Introduction

This document has been prepared as supplementary information to the following applications: 25/00806/FLL and 25/00807/LBC at the Boat of Murthly, Dunkeld. This document contains the following responses to the applications:

- Extracted response by Perth & Kinross Council Planning Officer, Andrew Rennie, by email dated 8th July 2025.
- Extracted response by External Consultee, Historic Environment Scotland [HES], dated 24th June 2025.
- Consultee Response by Conservation Officer for Perth & Kinross Council, dated 17th July 2025.

After receiving the above listed responses, meetings have taken place with Simpson & Brown [conservation architects and agent], Ryden [planning consultant] and our client to discuss the feedback. Having considered the comments from HES and PKC Conservation Officer, and while we appreciate these comments are to be treated as a material consideration by the planning authority, we would like to take the opportunity to share some further information in response to the feedback received.

Some specific edits to the proposed design, in response to comments made, have been uploaded to the eplanning portal as supplementary information. It would be reasonable therefore to accept these as an amended and updated set of application drawings that should be considered and determined by PKC.

Description of Proposal

The following highlights key issues raised in **blue bold** and our response in **green bold italics**.

LBC - **"Alterations & extension to dwellinghouse"**

FLL - ***"Alterations and extension to dwellinghouse. "Erection of a garage and plant building, installation of a retaining wall, alterations and extension to access road, formation of patio and associated works"***

Please note and clarify that the amended planning application description as submitted should include the proposed alterations and extension to the existing dwellinghouse. Whilst covered by the LBC it is also required as part of the formal application for the planning permission being considered.

Feedback from Consultees

Perth & Kinross Planning Officer

- "Significant dominance where the footprint is marginally less than existing footprint and detrimental impact to listed building character."
- "Should the client wish to progress with any extension design, options that incorporate the stairwell into the new (east cottage) extension should be explored."

Historic Environment Scotland

- "While we maintain our preference for the retention of the historic outshot, we could accept the principle of its removal (and retention of the outshot walls as proposed) because the replacement extension would seek to improve the circulation through the historic building and the impact is balanced with conservation gains elsewhere in the building."
- "Height and massing of the extension dominates the north elevation and the roofscape, when viewed from the west, has a flat and solid appearance."
- "Explore amendments to the north extension design that would lighten / soften the impact on the listed building (e.g., use of different materials; reduction in height; creation of openings to the west roof slope)."

Perth & Kinross Conservation Officer

- "Proposed extension is not subservient to the listed building, especially when viewed from the rear and sides, respect the shape, scale and proportions of the existing building and relate to the roof pitch and original building depth."
- "Catslide is an important architectural feature of the building."
- "Reorientate the building away from the historic principal elevation."
- "Plant-on astragals is not supported."
- "The removal/blocking up of the east cottage stairs will inhibit the ability to interpret the joined dwelling as two separate cottages historically."
- "Installation of plasterboard walls over the existing timber panelling is unnecessary and not essential."

EXECUTIVE SUMMARY

Response to Consultees

The following proposed amendments have been made in response to the recent feedback received:

- Reduction in height to the central rear wing.
- Creation of openings to the west roof slope.
- Histoglass MONO single glazing system is proposed for the new windows in the original part of the house. This is an alternative product which has recently come to our attention, and we were not aware of at submission.
- Existing timber panelling throughout the former east and west cottages to be retained and repaired as necessary. New timber panelling to match existing where alterations are proposed. No new timber framing and plasterboard to conceal timber panelling will be used.

In summary, the following key points should be highlighted:

- The proposed extension is a subordinate addition. 18% of the existing house footprint [excluding the adjacent existing garage and outbuilding which is being removed]. New ridge heights are lower than existing.
- The special interest of the site resides primarily in its south elevation and its relationship with its setting. While impact to the rear lean-to roof is acknowledged, the proposed rear extension makes reference to the existing lean-to roof / 'catslide' while significantly improving circulation within the original building and minimising internal alterations. While the external appearance of the north and west elevation will change, the removal of cluttered outbuildings will improve the setting of the listed building and this is coupled with a suite of other conservation gains.
- The stairs in the east cottage will be removed. This part of the building has seen greater alteration over time, making this change less impactful. The proposed rear extension will complement the retained west cottage stair providing improved circulation around the property. The stairs in the west cottage will be retained in situ without alteration, preserving the plan of the more intact side of the house.
- The proposed extension finish is traditional lime harl. This differs from the masonry on the existing dwelling and will provide a lighter and softer appearance in contrast to the existing.

Conclusion

The two cottages have been used as a single dwellinghouse for a number of years but the property does not function well and is in disrepair. When viewed as a whole, the proposal will create a unified dwelling which provides for modern living standards while preserving and enhancing the listed building. Although some impact is acknowledged, this is balanced against numerous conservation gains:

- The proposal represents an opportunity to comprehensively restore a B listed building which is in need of significant investment.
- Removal of the poor-quality existing double garage and outbuildings to the rear, reducing the overall footprint.
- New extensions are sensitively designed and finished in reference to the listed building.
- Former west cottage poor-quality timber bay window removed and replaced with window detailed to match existing on east gable.
- The existing poor-quality infill panels and anachronistic upper lights in the loggia will be removed, and replaced with more unobtrusive and appropriate windows and doors.
- The existing, original windows and shutters will be overhauled and repaired as necessary.
- The existing asbestos soffit boards will be removed, exposing the rafter ends and restoring this part of the building to an appearance more consistent with the original pair of cottages.
- Imposts in the loggia arcade which have been cut back will be reinstated.
- Dormer finials reinstated similar to those on the gables.

PERTH & KINROSS COUNCIL PLANNING OFFICER RESPONSE

The "text below" is extracted from the response provided by Perth & Kinross Council Planning Officer, Andrew Rennie, by email dated 8th July 2025. The following highlights key issues raised in **blue bold** and our response in **green bold italics**.

"It is important to convey that the current elevations and [are] broken up with historic detailing such as the loggia, crow-stepped gables, front and rear gables and catslide roof. The extension would present an extended (east and inner) elevation which still results in **significant dominance where the footprint is marginally less than existing footprint and detrimental impact to listed building character.**"

With regards to the footprint we would clarify that the footprint of the existing building [excluding the outbuildings and garaging] is 247.5m². The proposed additional footprint is 45.3m² (18% of the original). The footprint of the extension is therefore not marginally less than the existing footprint.

Existing:	247.5m ²
Downtakings:	41.6m ²
Proposed extension:	86.9m ²
Proposed footprint:	292.8m ² , i.e. 45.3m² / 18.3% increase

Table 1: Excluding existing double garage and workshop / ancillary accommodation.

"Should the client wish to progress with any extension design, options that incorporate the stairwell into the new (east cottage) extension should be explored (concentrating this development within/part of the 'East Cottage' wing) which is hoped to avoid a significant massing, minimal intervention to the listed building and its character, and to minimise complicated and additional roof construction."

Existing:	324.6m ²
Downtakings:	118.7m ²
Proposed extension:	86.9m ²
Proposed footprint:	292.8m ² , i.e. 31.8m² / 9.8% decrease

Table 2: Including existing double garage and workshop / ancillary accommodation.

Page 12 of our document, Design, Access & Planning Statement, with Supporting Schedule of Works, submitted with our Planning and LBC applications, outlined our consideration of an option of developing a further extension to the east wing, including the new stair.

We would re-iterate that we feel that whilst this approach retains more of the external appearance of the rear of the existing building, internally it is far more disruptive and creates an extension that is unconnected to the main body of the house.

The original cottages were compact and symmetrical in design. Whilst our proposals to the rear are not symmetrical, as we want to preserve the original west gable, it respects the compactness. An extension to the east gable creates an un-characteristic extrusion which is lop-sided and creates an imbalance to the layout.

Following feedback received on site we have given some thought to an extension to the current east wing, an extension to the extension. This **analysis** demonstrates whilst retaining the original rear lean-to, it doesn't make the most efficient use of the spaces, or respect the historic use of the spaces. The lean-to largely becomes circulation for example. On the first floor, the need to get from one side of the house to the other is also compromised by the existing stair - creating a situation where you have to go down and up to get between rooms. Whilst this was also the case in the existing cottages you were probably going to one room, rather than between rooms so less of an issue. The two middle rooms on the first floor are also compromised, the circulation taking up space and making the rooms largely unusable for anything other than a bathroom, en-suite or dressing area. The rear entrance is located on the inner west side of the new wing, and is hidden from view.

The diagrams show the internal layout of the east wing extension. The top diagram is the first floor, showing a new staircase detached from the main circulation, a new main entrance hidden from view, and additional slapping in the existing fabric. The bottom diagram is the ground floor, showing the existing lean-to roof retained, the former west cottage north gable kept clear, and a new staircase detached from the main circulation. The diagrams illustrate how the extension creates a disconnected and uncharacteristic extrusion.

East Wing Extension Analysis - First Floor

East Wing Extension Analysis - Ground Floor

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Simpson & Brown

HISTORIC ENVIRONMENT SCOTLAND [HES] RESPONSE

The "text below" is extracted from the Consultee Response provided by Historic Environment Scotland [HES], dated 24th June 2025. The following highlights key issues raised in **blue bold** and our response in **green bold italics**.

"External alterations: We welcome the removal of the modern bay window and breakfast room (east extension) because this would reinstate the intended symmetry of the principal elevation and have the potential to enhance the historic and architectural character of the building. We also support the changes to the loggia, which would reverse later, unsympathetic alterations.

The proposals include significant alterations to the rear (north) elevation of the building. This would involve taking down various modern extensions, rebuilding the two-storey extension to the northeast, and removal of the historic outshot to the north with characterful catslide roof. We previously advised against the removal of the catslide roof outshot because we consider it's an important architectural feature and its loss, including the proposed north extension and reorientated principal entrance to this elevation, would have the potential to detract from our understanding of the building.

While we maintain our preference for the retention of the historic outshot, we could accept the principle of its removal (and retention of the outshot walls as proposed) because the replacement extension would seek to improve the circulation through the historic building and the impact is balanced with conservation gains elsewhere in the building. However, we consider **the height and massing of the current north extension visually dominates this elevation and the roofscape, when viewed from the west, has a flat and solid appearance.**" *The proposed extension will be stepped in from the line of the historic east elevation to preserve the dominance of the historic fabric. The design of the extension adopts traditional building forms to break down the massing, the use of gables, and replicating the sweeping lean-to roof help to reduce the scale of the extension. This is not necessarily apparent when viewing the elevations, so the extension must be considered in its 3 dimensional form. The west elevation in particular will never be seen in a true elevation due to its proximity to the boundary and tree line. The photographs on the following pages illustrate the existing views compared to the proposed to show how this massing is broken down.* "We would encourage the applicant to explore amendments to the north extension design that would lighten / soften the impact on the listed building (e.g., use of different materials; reduction in height; creation of openings to the west roof slope)."

Use of different materials: We are proposing that the external finish of the extension is traditional lime harl, with dressed stone quoins and margins. This differs from the masonry on the existing dwelling and was a result of previous feedback from PKC and HES as part of the earlier application that was subsequently withdrawn. The traditional lime harl will provide a lighter and softer appearance in contrast to the solid masonry of the existing building.

Reduction in height: There is an inherent challenge in achieving a reasonable head height in the extension due to head height of the existing building. In line with Perth & Kinross Council [PKC] Placemaking guidance the new roof ridges do not exceed the height of the original. Following initial feedback and discussion with PKC and HES as part of an earlier application that was subsequently withdrawn, we lowered the ridge height of the roof which directly connected to the existing east gable. This is lower than the current extension, which will be removed and make the original building line more legible. The proposed central gable will be lower than the east and west wings. Consideration was given to reducing the height further, and this has been minimally reduced by 150mm, in order to achieve a practical habitable height below the coombs in bedroom 3, whilst maintaining a level of insulation to meet current standards, it was felt this ridge line could not be reduced any further.

Creation of openings to the west roof slope: We agree that it would be beneficial to break the roof up and include two new conservation style rooflights into the proposed lean-to roof as shown in the following illustrations.

"Slates from the outshot should be retained for re-use for repairs to the principal elevation, or new rear extensions, where possible." *Noted and agree.*

"Internal alterations: We support the intention to retain the existing staircase in the west cottage, however it is unclear how this will be blocked off. Our preference would be for a more permeable solution than complete closure of this access (e.g., a gate, if safety is a concern)." The existing staircase in the west cottage will be retained, and will remain open for use. The note on the drawing for the stair to be blocked off at ground level is an error from a previous scheme. A revised drawing has been included as part of this response as supplementary information.

HISTORIC ENVIRONMENT SCOTLAND [HES] RESPONSE

"When carrying out alterations to the floors, **care should be taken when lifting floorboards to minimise damage to historic fabric.**" *Noted and agree.*

"Insulation to the historic roof is proposed but there was **no material specification submitted with the application.** There are plenty of good performing materials and retrofit methods which are suitable for use in traditional buildings. Please see our Guide to Energy Retrofit of Traditional Buildings for advice on materials and good practice." *The exact specification of the insulation to the historic roof will be confirmed during the warrant stage, with reference to HES Guide to Energy Retrofit of Traditional Buildings.*

"Planning authorities are expected to treat our comments as a material consideration, and this advice should be taken into account in your decision making. Our view is that the proposals do not raise historic environment issues of national significance and therefore we do not object. However, our decision not to object should not be taken as our support for the proposals. This application should be determined in accordance with national and local policy on listed building area consent, together with related policy guidance."



View on approach, as existing - Photograph [July '24]



*The extent of the rear extension that will be visible when approaching the site.
The use of the lean-to roof form has been a deliberate choice to lower the eaves and reduce the massing of the extension.*

View on approach, as proposed

HISTORIC ENVIRONMENT SCOTLAND [HES] RESPONSE



View from rear, as existing - Photograph [July '24]

Proposed east wing extension ridge to be lower than existing/ original ridge. Red dashed line indicates existing extension to be removed.

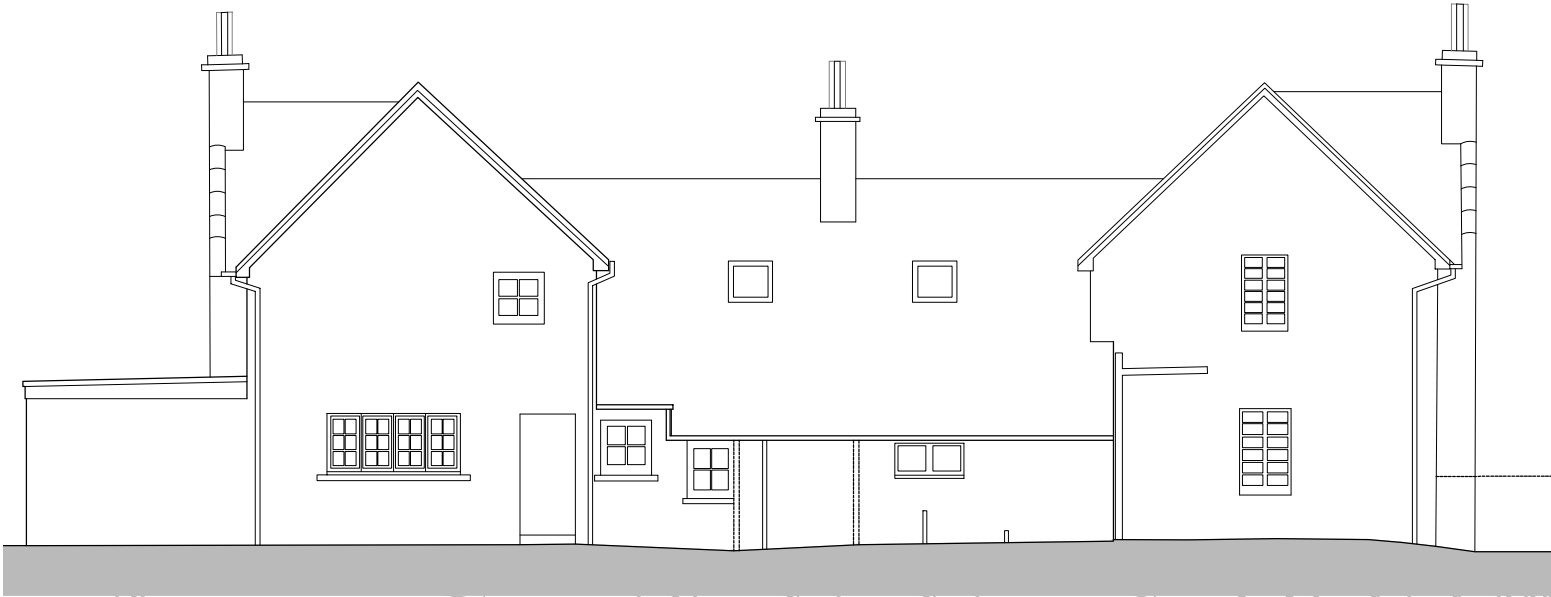
Central extension ridge line lower than east and west wings, whilst maintaining practical habitable height in bedroom 3 and maintaining a level of insulation to meet current standards.

Proposed extension to be finished with a pitched slate roof, lead flashings, lime render external walls and painted double glazed timber windows with stone margins.



View from rear, amended application as proposed [July '25]

HISTORIC ENVIRONMENT SCOTLAND [HES] RESPONSE

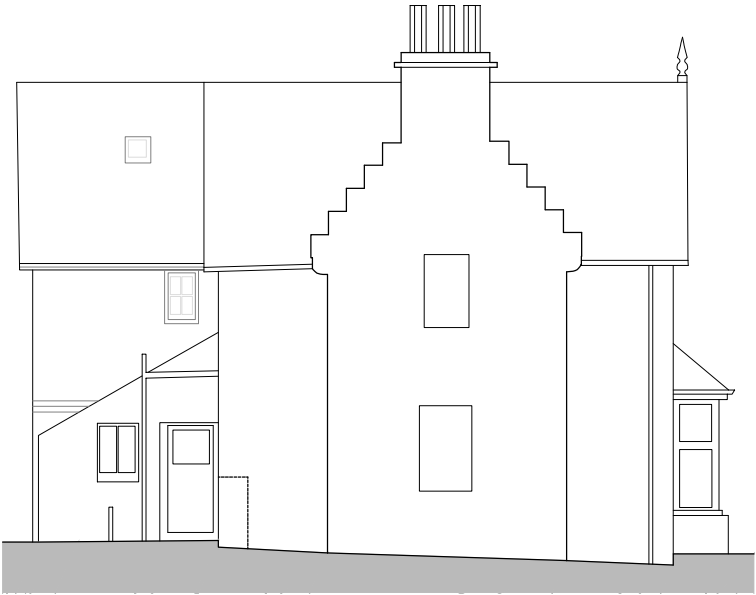


North Elevation, as Existing

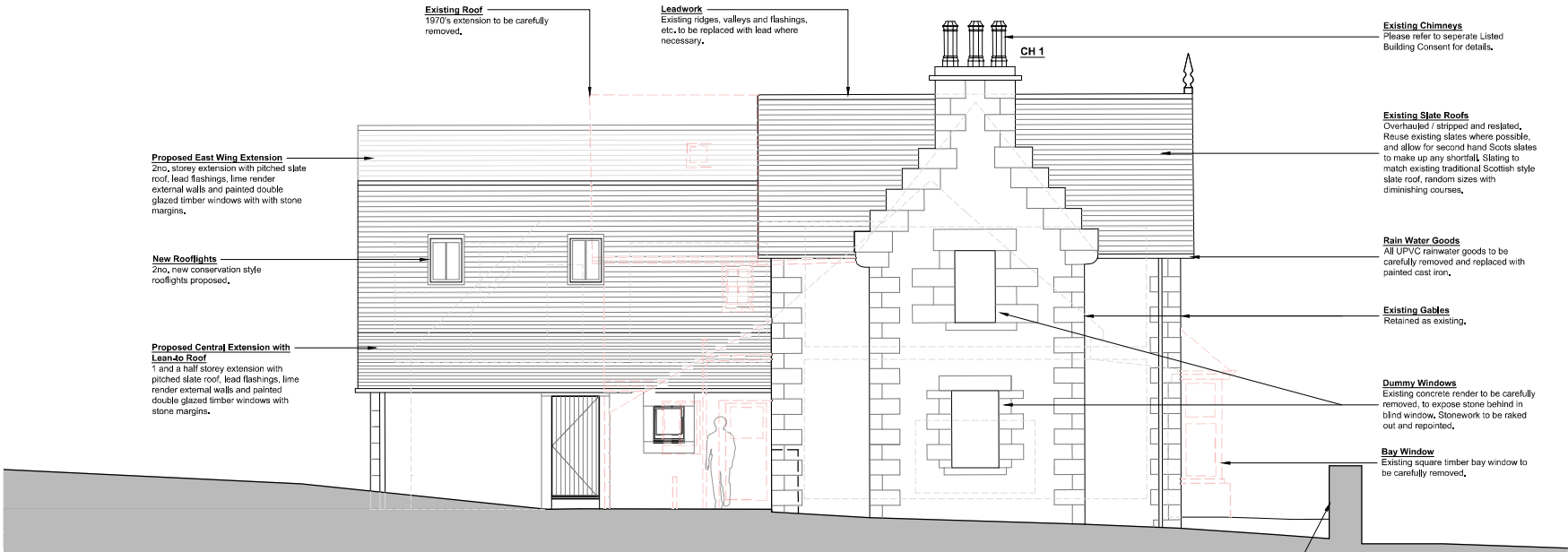


North Elevation, as Proposed

HISTORIC ENVIRONMENT SCOTLAND [HES] RESPONSE



West Elevation, as Existing



West Elevation, as Proposed

HISTORIC ENVIRONMENT SCOTLAND [HES] RESPONSE



*Existing Masonry
photo from Boat of Murthly*



Example of Traditional White Lime Harling

Example of traditional lime harling, with dressed stone quoins for the proposed extension. This will illustrate a clear and distinct change in materials between the existing and new, whilst complementing the original dwellinghouse, using materials that are lighter and softer in appearance. NB. Final colour will be subject to samples on site for approval.

PERTH & KINROSS COUNCIL CONSERVATION RESPONSE

The "text below" is the Consultee Response provided by Jody Blake, Conservation Officer for Perth & Kinross Council, dated 17th July 2025. The following highlights key issues raised in **blue bold** and our response in **green bold italics**.

"Boat of Murthly is a Category B listed building located on the banks of the River Tay. The subject site is a single dwelling which was formerly two semi-detached cottage[s] that have been converted to a single dwelling. It should be noted that the HES listing description is for 'semi-detached properties'. The cottages date to c1850 and are part single storey with dormers within the roof and a loggia to the front. The Heritage Statement states that the property has been in use as a single-family dwelling for the past thirty years (S&B Heritage Statement) however, a **pre-app to convert the two cottages into one was submitted in 2013.**" ***The cottages are currently combined as a single dwelling.***

"The summary statement of significance provided in the **Heritage Statement** (May 2025, Simpson & Brown) **understates the importance of most of the building and fails to include interiors.**" ***This is factually incorrect. Technically the 'summary statement' 3.5 does not mention interiors - but that is just a short summary of the foregoing sections, and 3.3 'architectural and artistic interest' does state that the interiors contribute to the significance of the building. The interiors are also carefully considered in the impacts sections 4.4 - 4.8.*** "Contrary to the summary statement of significance provided in the Heritage Statement, the HES consultation response (24/06/25) states that Boat of Murthly is relatively unaltered internally and externally and is a high-quality example of estate workers' cottages of the late 19th century 'improvement era'. Of architectural interest are the unusual six arched loggia to the principal (south) elevation, the impressive catslide roof to the rear (north) elevation, the unaltered floor plan, the timber panelling throughout the lower ground interiors, and the original stair[ways].' Whilst the HES consultation response is not an assessment of significance, it does identify some of the most important features of the listed building. As stated in HES guidance some buildings have interest as little-altered examples of a modest building type. These are harder to extend sympathetically than many more substantial pieces of architecture."

"Proposed extension: The HES document Managing Change in the Historic Environment: Extensions states that extensions must protect the character and appearance of the building,

should be subordinate in scale and form; be located on a secondary elevation; and designed in a high-quality manner using appropriate materials." ***The proposed extension is lower, subordinate and smaller than the existing building. The rear elevation is the secondary elevation where the extension is proposed. The extension is proposed to be finished in a traditional lime harl. This differs from the masonry on the existing dwelling and was a result of previous feedback, thus providing a lighter and softer appearance in contrast to the solid masonry of the existing building.***

"**The proposed extension**, whilst demolishing some unsympathetic extensions such as the garage building and side extension (which were likely constructed prior to listing) **is welcomed**. These are **not considered as conservation gains** as these later additions do not add to the special interest of the listed building." ***Removing things that detract must be a benefit or gain, as it removes things that impact the setting and enjoyment of the listed building.*** "Removal of the west bay window is however considered a conservation gain."

"The proposed extension is **not subservient** to the listed building, especially **when viewed from the rear and sides,**" ***[these are of secondary significance to the Listed Building – the principal elevation is to the river (south)]*** "as demonstrated from the Design & Access Statement visuals. As informed by PKC Placemaking Supplementary Guidance, "extensions should **respect the shape, scale and proportions of the existing building and relate to the roof pitch and original building depth**. In most cases an extension should be a **subordinate addition** in all respects. Extensions should seek to achieve a building depth which respects traditional building forms." ***The new 'wings' do respect the original depth of the building. It does not exceed them, and the design takes cues from what is there already; the roof pitches are consistent, and the design language is consistent. The new extension is a subordinate addition - 18% of the existing house footprint [excluding the adjacent existing garage and outbuilding which is being removed].***

PERTH & KINROSS COUNCIL CONSERVATION RESPONSE

"**Detailing** is key to the successful integration of designs for extensions. Details can determine the character of a building; over-elaborate detailing on an extension where the original architectural style is of a seamless and modest appearance would be inappropriate. Details such as lintels, sills, eaves and verges have to be carefully considered to help integrate any proposed extension. Appropriately designed **rear extensions** are generally preferable on historic properties". "

Agreed – this is a rear extension and we have introduced design details – e.g lean-to / catslide roof and very specific responses to HES advice and will use traditional and quality materials.

The adjacent images, from the same viewpoint, illustrates the existing condition and the refinement to the proposals. Figure 4 responds to the HES comments and some of the detailed issued raised, including lowering the height of the central gable and new rooflights on the lean-to roof.

Catslide: The argument presented in the Heritage Statement that the rear elevation or servants' section of the building, (i.e. the impressive catslide), is of less importance due to it being a **secondary area is not supported**. The catslide is an important architectural feature of the building and makes a significant contribution to the overall architectural interest of the building by demonstrating architectural techniques to roof a single-storey area at the rear of a two-storey element. The **size** of the catslide roof is also **unusual for the area**."

The proposals do call for the removal rear lean-to roof, which will affect the appearance of the building in views from the rear (north). The special interest of the site resides primarily in its south elevation and its relationship with its setting. The proposals involve the retention of some fabric from walls of the lean-to, and the proposed stair hall will be constructed to the same footprint, meaning that this space will remain legible. The form of the new central wing replicates the existing sweeping lean-to roof form that will be removed, providing reference to the original building form. The existing lean-to could be archaeologically recorded prior to its removal, as noted in the Heritage Statement.

Reorientation of the building: The proposal includes a new **large** entrance porch and entrance hall to the north (historic rear of the building). This would **reorientate the building away from the historic principal elevation**." *The proposals respect the principal (south) elevation, it still functions as an entrance (or exit) and propose improvements to the existing (non-original)*

Figure 1: As existing



Figure 2: Initial Application [Dec '24]

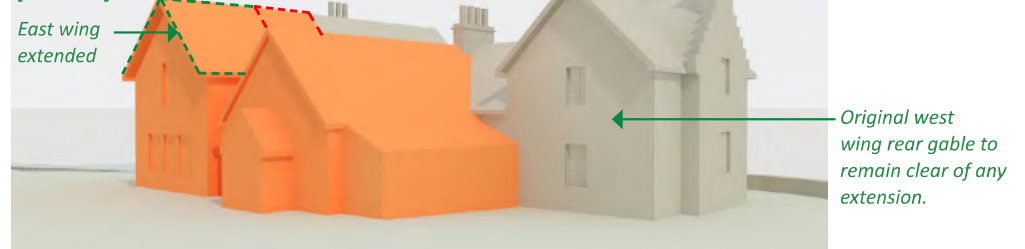


Figure 3: New Application [May '25]

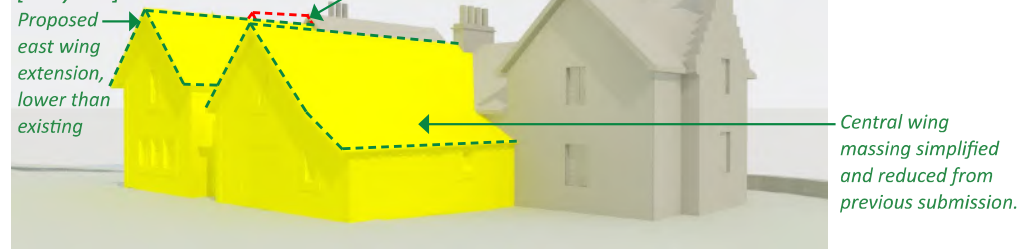
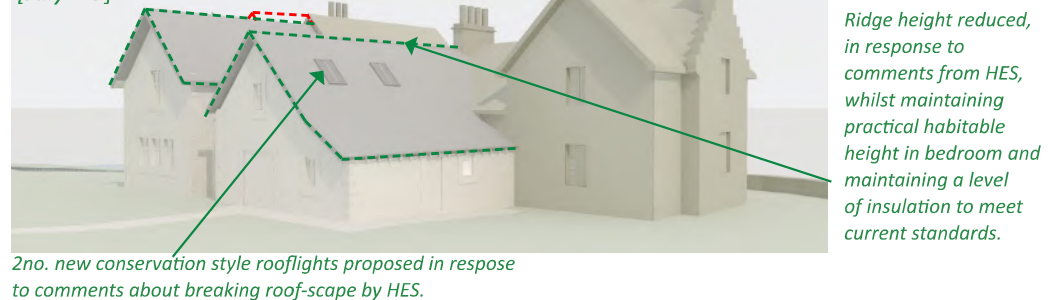


Figure 4: Amended Application, as Proposed [July '25]



PERTH & KINROSS COUNCIL CONSERVATION RESPONSE

detailing. The new rear door contains all the functions that one would relate with a back door, which cannot be accommodated within the south side without impacting on the historic fabric and character. "Whilst there is a flood defence wall to the historic front (south river facing) elevation of the building, there is sufficient space to allow this to continue to be used as the primary entrance to the building, especially with the proposed redirection of the existing driveway."

"Windows: The proposal to use **plant-on astragals** is **not supported**. The use of double glazed histoglass is unnecessary and has resulted in the need for plant-on astragals. Thermal improvements to the listed building can be achieved through using single glazed histoglass and other non-invasive less harmful alternatives inclusive of other appropriate retrofit energy efficiency measures. For replacement of existing windows and doors, a window and door survey are required as per the PKC Placemaking Guide."

The existing, original windows, where retained, are proposed to be overhauled and upgraded with new secondary glazing. It was hoped the size of the existing astragals would be sufficient to be replicated for the new windows, in the original part of the dwellinghouse and the extension. However, this is unfortunately not the case, as they are a minimal 14mm in width. In order to retain the existing proportions of the astragals, Histoglass MONO single glazing system is now proposed for the new windows in the original part of the house. This is an alternative product which has recently come to our attention, and we were not aware of at submission. Simpson & Brown are currently working with Edinburgh World Heritage to investigate solutions for upgrading windows as part of a wider research programme, and we are fully committed to finding the best solution. In the proposed extension the new windows, which will require a greater thermal value, will replicate the original joinery profiles with plant on astragals. The alternative would be increasing the size of the astragal profiles, etc., which would appear mismatched in rooms and on elevations.

"Internal alterations: The HES document Managing Change in the Historic Environment: Interiors states that the interest, experience and joy of a historic interior can be derived from a number of factors including its design, structural plan and layout, the quality of its decorative scheme, materials and craftsmanship, fixtures and fittings."

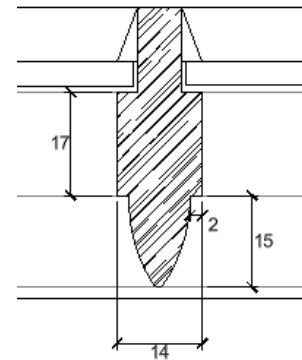


Figure 1: As existing, narrow profiled painted timber astragals.

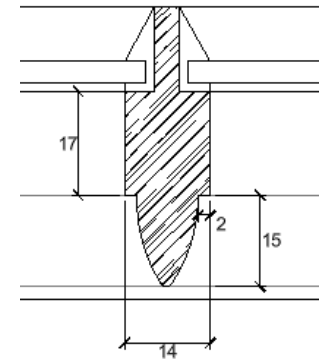


Figure 2: Proposed detail for new windows in original part of dwelling. Histoglass MONO RT+ single glazing, or similar and approved, with special patented insulating hard-coat applied on the room-facing side.

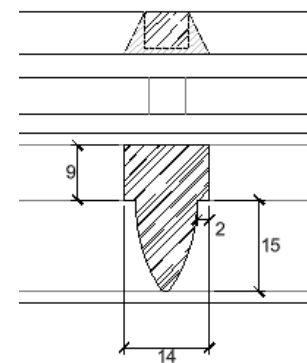


Figure 3: Proposed detail new windows in extension, where thermal values need to be greater to meet current standards. Painted timber astragal, planted on new double glazing to ensure profile matches the existing.

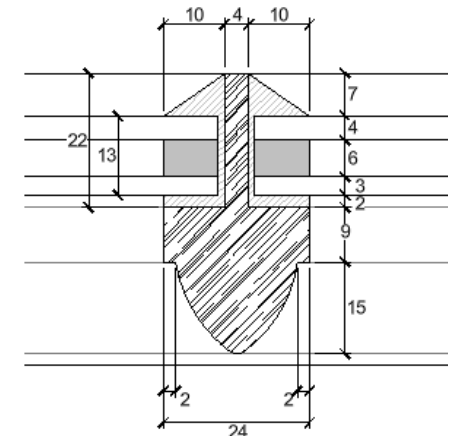


Figure 4: The alternative option which we do not currently propose, would be to increase the size of the astragal profiles, which would appear mismatched in rooms and on elevations.

PERTH & KINROSS COUNCIL CONSERVATION RESPONSE

"The proposal to merge the two cottages" (*this has already happened – it is a single house already*) "through new development would result in the *loss of the individual and symmetrical nature* of the buildings and would have a detrimental impact to the overall significance of the building." *Alteration has already impacted the symmetry which we are re-instating for the principal elevation. The proposals incorporate the external walls of the rear lean-to, helping to form the new stair enclosure, retaining the legibility of the original footprint. At first floor level the proposals were re-worked as part of this new application, to provide a bedroom in the new central gable, which has allowed us to rationalise the layout, and eliminate the need to form any openings in the central wall between the original cottages. The use of the central stair core helps strengthen the identity of the two cottages, in that they are accessed independently without having to go between them. "The removal/blocking up of the east cottage internal stairs creates the need for the large two-storey rear extension with flat roofed section to facilitate second [first] floor access." The stairs in the east cottage will be removed. This part of the building has seen greater alteration over time, making this change less impactful. The stairs in the west cottage will be retained in situ without alteration, preserving the plan of the more intact side of the house. The need for the rear extension provides a solution to create a viable dwelling for current and future needs, including a compliant stair to help future-proof the use of the building. A consequence is removing an already altered stair.* "The removal of the east cottage stairs will inhibit the ability to interpret the joined dwelling as two separate cottages historically."

"Part of the significance and character of the listed building is the impressive timber panelling to the ground floor interior. HES Interiors guidance states that even relatively modest interior spaces can display high levels of craftsmanship and quality of materials. The **proposal is to cover the timber panelling with plasterboard sheeting except in the west cottage lounge** where it will be retained around the existing fireplace." *This is not correct - the panelling was to be fully retained in the western cottage, and partially covered up in the eastern cottage. However, our client has now agreed for the panelling to be exposed throughout and repaired as necessary, with new panelling to match existing where alterations are proposed.* "However, to achieve this, the chimneypiece will be moved forward to align with the new plasterboard wall line. The alteration of chimneypieces and installation of plasterboard lining will not only alter the proportions of the space but the interpretation of the ground floor as a simple estate cottage.

The installation of plasterboard walls over the existing timber panelling is unnecessary and not essential. Other energy efficiency methods that are less detrimental to the character of the building can be employed to increase the thermal efficiency of the building. More information can be found within HES' Guide to Energy Retrofit of Traditional Buildings." *We will retain panelling and refit any removed sections with replacement sections to match existing.*

"There is an **over-compartmentalisation** at ground floor level with **multiple entrance areas, or thoroughfares**, which should be rationalised in the first instance. A sympathetic internal layout approach has not been fully considered." *The building currently has multiple entrance areas and thoroughfares which does not work. The proposed layout rationalises circulation whilst respecting the original layout, and legibility of the ground floor plan.*

"Garage: The proposed garage located to the north of the listed building would be stone clad with a pitched slate roof. The **proposed garage would be an improvement on the existing** garage which is attached to the rear of the listed building. The current proposal for the garage would **not be harmful** to the setting of the listed building."

"Has the principle of **additional bedrooms** included within a larger garage / ancillary accommodation space been considered to lessen the impacts on the listed building? This could include **increasing the roof height to facilitate rooms in a pitched attic space or L-shape layout**. If designed sensitively this would unlikely have a harmful impact on the setting of the listed building." *Noted, but the response has considered feedback from PKC planning officer. Overall the scale of the proposal has reduced.*

"Conclusion: The proposal would adversely affect the listed building's character, special architectural and historic interest as outlined above and as such fails to comply with PKC LDP2 Policy 27A and NPF4 Policy 7c and as informed by HES' Guidance on Extensions and Interiors; and PKC Placemaking Supplementary Guidance.

This consultation response should be read in conjunction with the consultation response provided by Historic Environment Scotland (24/06/2025)."

We have referred to all documents noted and followed guidance, the proposals are in our view in accordance with all policy and guidance.

CONCLUSION

In response to the consultee feedback from Perth & Kinross Council [PKC] and Historic Environment Scotland [HES] we have proposed some specific design amendments to the following applications: 25/00806/FLL and 25/00807/LBC. Whilst this may not address all of the concerns raised, it would be reasonable for PKC to consider these in the determination of the current applications.

The following proposed amendments have been made in response to the recent feedback received:

- Reduction in height to the central rear wing.
- Creation of openings to the west roof slope.
- Histoglass MONO single glazing system is proposed for the new windows in the original part of the house. This is an alternative product which has recently come to our attention, and we were not aware of at submission.
- Existing timber panelling throughout the former east and west cottages to be retained and repaired as necessary. New timber panelling to match existing where alterations are proposed. No new timber framing and plasterboard to conceal timber panelling will be used.

The following key points should also be highlighted:

- The proposed extension is a subordinate addition. 18% of the existing house footprint [excluding the adjacent existing garage and outbuilding which is being removed]. New ridge heights are lower than existing.
- The special interest of the site resides primarily in its south elevation and its relationship with its setting. While impact to the rear lean-to roof is acknowledged, the proposed rear extension makes reference to the existing lean-to roof / 'catslide' while significantly improving circulation within the original building and minimising internal alterations. While the external appearance of the north and west elevation will change, the removal of cluttered outbuildings will improve the setting of the listed building and this is coupled with a suite of other conservation gains.
- The stairs in the east cottage will be removed. This part of the building has seen greater alteration over time, making this change less impactful. The proposed rear extension will complement the retained west cottage stair providing improved circulation around the property. The stairs in the west cottage will be retained in situ without alteration, preserving the plan of the more intact side of the house.
- The proposed extension finish is traditional lime harl. This differs from the masonry on the existing dwelling and will provide a lighter and softer appearance in contrast to the existing.

The two cottages have been used as a single dwellinghouse for a number of years but the

property does not function well and is in disrepair. When viewed as a whole, the proposal will create a unified dwelling which provides for modern living standards while preserving and enhancing the listed building. Although some impact is acknowledged, this is balanced against numerous conservation gains:

- The proposal represents an opportunity to comprehensively restore a B listed building which is in need of significant investment.
- Removal of the poor-quality existing double garage and outbuildings to the rear, reducing the overall footprint.
- New extensions are sensitively designed and finished in reference to the listed building.
- Former west cottage poor-quality timber bay window removed and replaced with window detailed to match existing on east gable.
- The existing poor-quality infill panels and anachronistic upper lights in the loggia will be removed, and replaced with more unobtrusive and appropriate windows and doors.
- The existing, original windows and shutters will be overhauled and repaired as necessary.
- The existing asbestos soffit boards will be removed, exposing the rafter ends and restoring this part of the building to an appearance more consistent with the original pair of cottages.
- Imposts in the loggia arcade which have been cut back will be reinstated.
- Dormer finials reinstated similar to those on the gables.

There will be some changes to the historic fabric, however these changes have been concentrated in areas of the building which have seen the most change in the past. Areas which retain the greatest authenticity are the south and west elevations and the planform of the west cottage; these areas are seeing very little alteration with the exception of conservation gains, such as the removal of the non-original bay window and the removal of paint from chimneypieces.

Not only have the elements proposed for greater change seen more change in the past, they are all areas of the building which have lower cultural-heritage significance. This is in part due to their lesser authenticity, but also due to lower architectural and aesthetic interest, which is concentrated in the south elevation and also in the relationship of the building to its setting on the River Tay, which is one of the most important elements of Boat of Murthly's heritage value.

Given the minimal impact on the most significant elements of the Boat of Murthly, and the accompanying extensive programme of conservation gains proposed as part of these works, it is not anticipated that there will be a significant adverse impact on the listed building as a result of the proposed changes. High quality materials will be used throughout the scheme which reflect and respond to the character of the listed building. .

We have referred to aforementioned documents and followed guidance, and the proposals are in our view in accordance with all policy and guidance.

CONCLUSION



Historic photograph of the Boat of Murthly, mid 1900's

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Boat of Murthly, Dunkeld

Design, Access & Planning Statement, with Supporting Schedule of Works

Ms J. Maude

May 2025

Simpson & Brown

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9. CONCLUSION



Boat of Murthly, Dunkeld

1. BACKGROUND

The Boat of Murthly has an idyllic waterside setting beside the River Tay. The house is located at the far end of a 700m private track and is approximately 3 miles from the town of Dunkeld.

The property was originally constructed as two adjoining cottages and now operates as one family home, however the layout of the property as one dwellinghouse is disjointed and alterations are required.

Discussions have already taken place with Perth & Kinross Council [PKC] and Historic Environment Scotland [HES] as part of previous applications that were submitted for the site and subsequently withdrawn. These application references are as follows:

Dwellinghouse - 24/01939/FLL & 24/01935/LBC

Ancillary Accommodation - 25/00181/FLL

Following the feedback received from both PKC and HES, the proposals for the site have been reviewed. This new application takes on board the comments that were received.

This document has been prepared to support the planning and listed building consent applications for alterations and extension to the existing dwellinghouse at Boat of Murthly. The planning application also includes the erection of a new build double garage with plant room and alterations to the existing access road.



Aerial View of the Site © Savills

2. SITE AND SURROUNDING AREA

The existing house at Boat of Murthly was built as a pair of cottages in the mid-nineteenth century. The cottages were likely built as part of a programme of 'improvement' across the Murthly estate.

Historic Environment Scotland's Listing Description describes the site as:

Semi-detached rubble cottages, centre part single storey with dormers, 6-arch stone loggia in front between 2-storey end bays. c. 1850. Picturesque.

One of the most significant features of Boat of Murthly is its relationship to its spectacular setting. The house is set almost directly on a curve of the River Tay. While the location of the building was chosen with function rather than an aesthetic relationship to the landscape in mind, the result makes an important contribution to the special interest of the site.

Alterations and extensions were carried out on the east cottage in the 1970's prior to the cottages being listed in the 1980's. In the early 1990's the site was affected by a flood, and a new flood defence was erected. This comprises of a new flood wall in front of the property and embankments to the east and west. It is at this time the cottages became one property.

The existing footprint of the dwellinghouse including the existing double garage and workshop accommodation to the rear totals 324.6m².



Aerial View of the Site © Savills

3. PLANNING & LISTED BUILDING CONSENT HISTORY

1970 - Planning Application

Alter & extend house [*former east cottage*]

Reference: 69-1106

- Granted

1993 - Planning Application

Construction of a Flood Protection Barrier

Reference: 93/00479/FUL

- Granted

2024 - Planning Application & Listed Building Consent

Alterations and Extension to Dwellinghouse

Reference: 24/01939/FLL & 24/01935/LBC

- Applications withdrawn

2025 - Planning Application

Erection of ancillary accommodation, plant and garage
building and formation of access track

Reference: 25/00181/FLL

- Application Withdrawn

2025 - Listed Building Consent

Repairs to Chimneys

Reference: 25/00445/LBC

- Granted

4. PROPOSED DEVELOPMENT

Description

A planning application is submitted for the following description of development:

'Alterations and extension to dwellinghouse, erection of ancillary double garage and plant building and associated works including alterations to existing access track.'

A listed building consent application is submitted for the following description of development:

'Alterations and extension to dwellinghouse.'

Dwellinghouse

The alterations and extension to the existing dwellinghouse can be summarised as follows:

- Removal of existing double garage and workshop accommodation; 1970's east cottage extensions and; timber bay window from principal / south elevation. Each of these are later additions to the building and the site.
- Erection of rear extension to create a new entrance, stair hall, utility, WC, and kitchen at ground floor. At first floor the extension houses two bedrooms with en-suites. The extension will be finished externally with a traditional lime render, dressed stone quoins and margins, pitched slate roof, lead flashings, and timber windows and doors.
- Alterations to the principal elevation including the removal modern loggia glazing, and replacement with a more unobstructed glazing system; reintroduction of impost detail at the loggia columns, removal of existing felt on the loggia roof, and replacement with lead; replacement of dormer finials which have been lost, and reinstatement of west cottage window at ground level.
- Internal alterations comprise of the removal of existing east cottage staircase; new slapping between the former east cottage principal room and the proposed rear extension; concealing of timber lining in the former east cottage ground floor rooms. The existing ground floor suspended timber floor is proposed to be altered to a solid construction.

- At first floor the layout of the rooms in the proposed dwelling are to be altered to allow a master en-suite and dressing area.

The proposed footprint of the dwellinghouse totals 292.8m², 31.8 m² less than the existing footprint.

Garage & Plant Building

The erection of the double garage and plant building is proposed to the north-east corner of the site, outwith the floodplain for a 1 in 200 year flood plus climate change. The single storey building comprising of a double garage and plant room to house equipment for a new ground source heat pump and private water supply plant equipment is to be finished in stone, to match the existing dwellinghouse, pitched slate roof and timber windows and doors.

Access Track

The existing access track is proposed to be re-configured to suit the position of the new double garage, and to allow for a gentler ascend / descend of the existing flood defence embankment.

5. EXISTING DWELLINGHOUSE

Demolitions, Alterations & Proposed Extension

The Brief

The proposed alterations and extension to the existing dwelling stems from the clients brief to create a sustainable and viable family home. The existing property is a five-bedroom dwelling. However, the layout of the property is disjointed. The former east cottage and west wing cottage are merely connected through a cold uninsulated enclosed loggia to the front of the property and a secondary route through the boiler room and utility room to the rear. There is currently no connection between the two former cottages at first floor.

The South Elevation

Our proposals to date have always respected and sought to enhance the principal south elevation of the house. This elevation is viewed from the river and the approach to the house, and is key to its setting in the landscape.

The original cottages were accessed via the open loggia, with double doors set back into the main front wall. As a single dwelling there is currently no identifiable or usable main entrance to the building on this elevation. The introduction of the flood wall in the 1990's meant that the house was functionally realigned to the north as the south could only be accessed on foot, around or through the property.

The existing poor-quality infill panels and anachronistic upper lights in the loggia will be removed, and replaced with more unobtrusive and appropriate glass. Following discussion we propose to install large pane glazing within the arches, to give a more open impression - as it would have originally been. To retain the access to the south we propose that the two end arches will be fully glazed doors. In addition, as evidenced in the adjacent historic photograph, we propose to re-instate the imposts in the loggia which were likely cut back, when the current glazing was added.

Taking on board the feedback, we have revised the proposals to remove the existing bay window (of negative significance) on the south face of the west gable and replace

with a window detailed to match existing on the east gable. The existing bay window is of unknown date but in its form and materiality appears to date from the postwar period; its style is anachronistic and its removal will be a conservation gain, especially considering that this is the most significant elevation of the house.

In reviewing the detail design we also propose to remove the soffits which we believe to be later (asbestos) additions. This will expose the rafter ends and restore the building to an appearance more consistent with the original cottages. Finials will be re-instated to the dormers.

Overall, the principal south elevation will remain similar in appearance with only heritage improvements proposed.



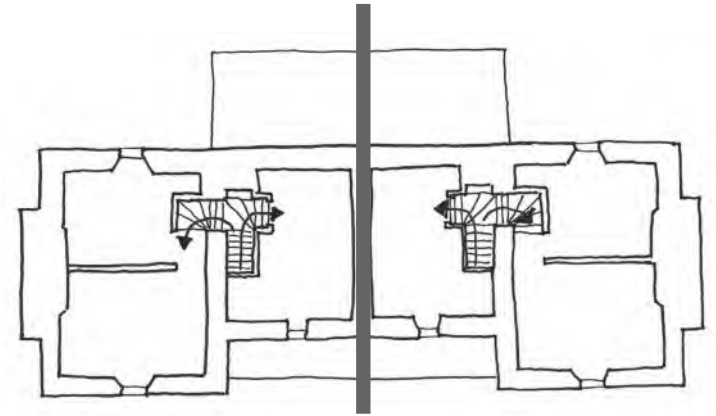
Historic photograph - mid 1900's

Design Development

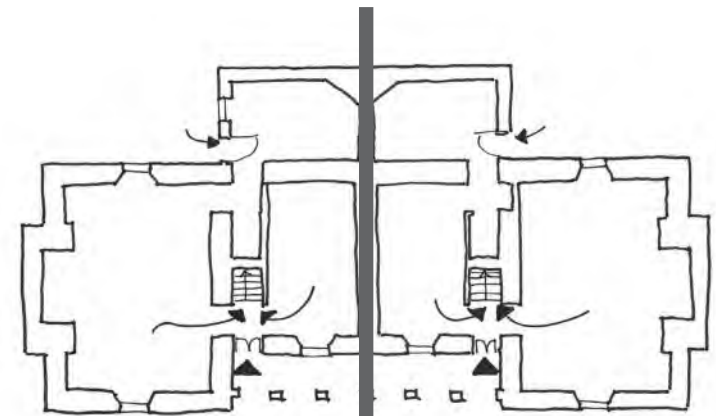
The proposals are for an extension at the rear of the building, attached to the centre and east wing of the building where it has already seen substantial change, mostly by Peter Castle-Smith in the later twentieth century. The proposals have sought to respect the more intact historic fabric of the west cottage, and in particular the north gable.

Following the feedback we have re-considered our response and carried out some analysis of our thought process, which at the time had been a more intuitive response. A key factor has been how the spaces will be used and accessed, to allow the house to function as one, as a family home. This is illustrated in the following sketches.

The **original layout** comprised two symmetrical cottages, accessed from the south through the loggia - the front doors were not particularly evident on the south elevation. The stairs simply provided access to three bedrooms in each cottage. The lean-to provided access to and from the rear, and likely contained more functional laundry and utility uses.

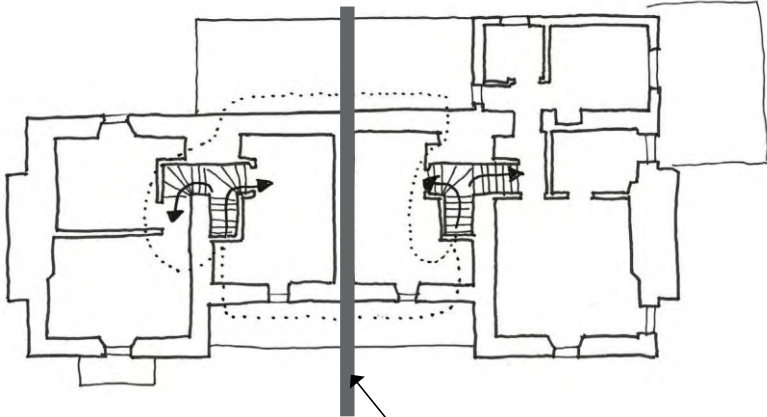


Original Layout - First Floor



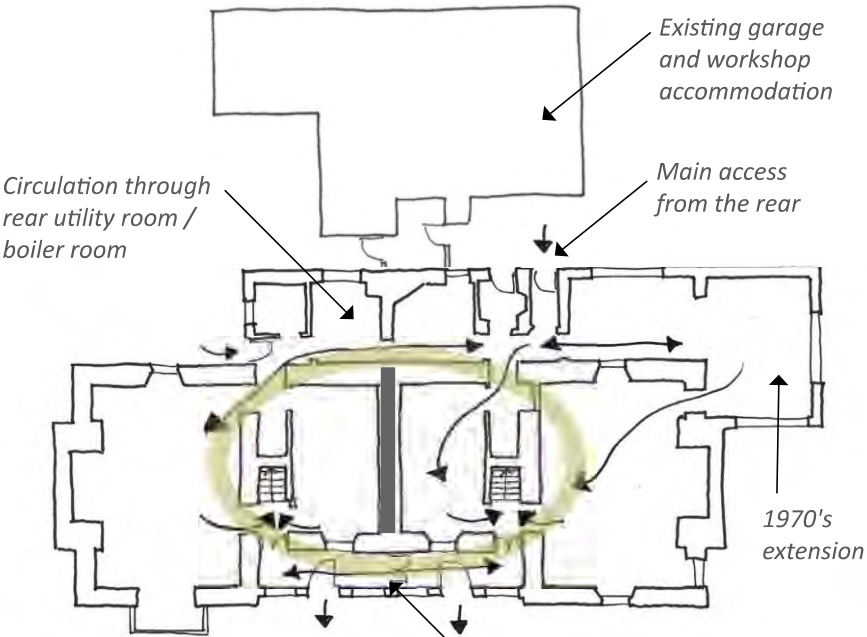
Original Layout - Ground Floor

The **existing layout** is complicated by the fact that the two cottages now operate as one. The diagram highlights the disconnect between the original cottages. The main access is now from the rear, and the original entrance doors now form part of a circulation route through the loggia to get from one cottage to the other, and out to the south terrace. There is no connection between the cottages at first floor, meaning that in order to gain access between all bedrooms you need to go down one stair and up another.



Existing Layout - First Floor

No connection between cottage at first floor



Existing Layout - Ground Floor

Enclosed loggia forms part of circulation route to get from one cottage to the other



Existing rear accommodation



Existing rear accommodation including workshop space



Existing 1970's extension



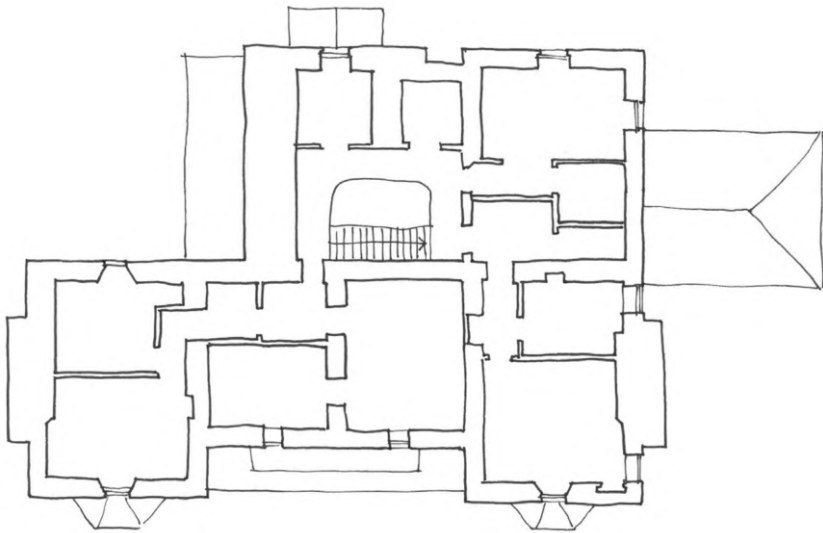
Existing double garage and 1970's extension



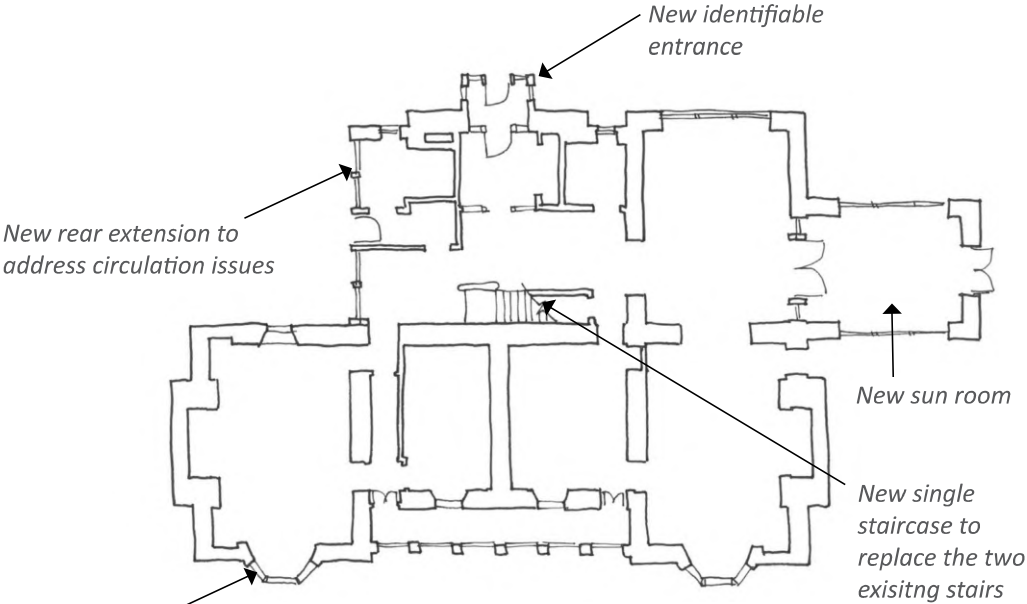
Existing main entrance door at the rear of property

The **previous submission [withdrawn]** sought to address these complicated access and circulation issues by creating a new extension to the rear. This provided a new, identifiable entrance, utility, wc and kitchen. A new single stair was proposed to replace the two existing stairs to provide safer access and a circulation solution that would provide access to both the existing and proposed spaces. A sun room was proposed to replace the existing extension to the east, and to bring symmetry to the principal elevation two new bay windows were proposed to the principal rooms to improve on the detailing of the existing bay window, and to generally improve day lighting levels to these large spaces.

Feedback provided by PKC and HES led to the withdrawal of the applications to allow further time to take on board the feedback and develop the proposals.



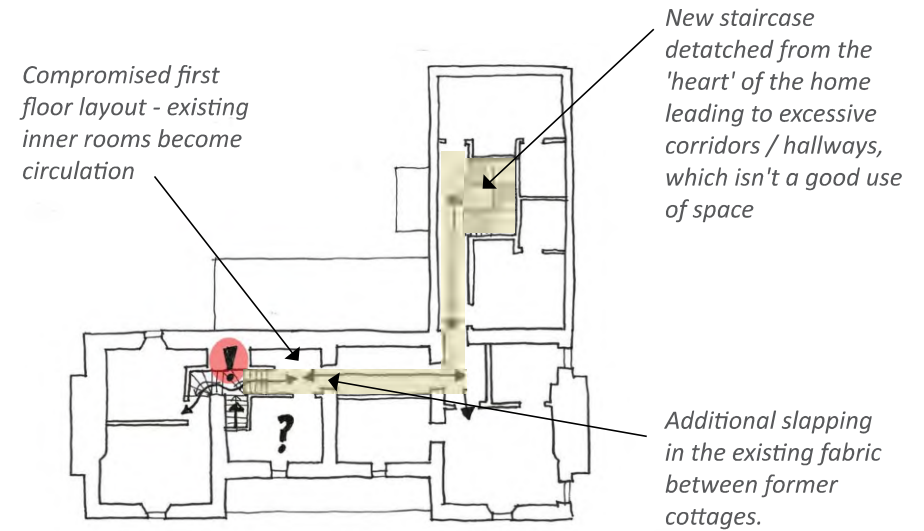
Previous Submission [withdrawn] - First Floor



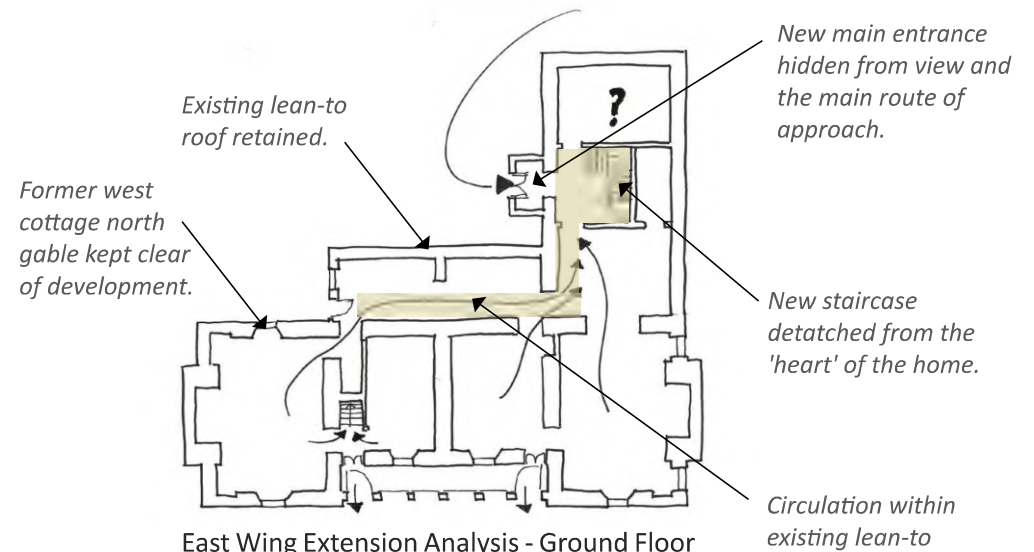
Previous Submission [withdrawn] - Ground Floor

2no. new bay windows to bring symmetry to principal elevation and improve day lighting levels.

Following feedback received on site we have given some thought to an extension to the current east wing, an extension to the extension. This **analysis** demonstrates whilst retaining the original rear lean-to, it doesn't make the most efficient use of the spaces, or respect the historic use of the spaces. The lean-to largely becomes circulation for example. On the first floor, the need to get from one side of the house to the other is also compromised by the existing stair - creating a situation where you have to go down and up to get between rooms. Whilst this was also the case in the existing cottages you were probably going to one room, rather than between rooms so less of an issue. The two middle rooms on the first floor are also compromised, the circulation taking up space and making the rooms largely unusable for anything other than a bathroom, en-suite or dressing area. The rear entrance is located on the inner west side of the new wing, and is hidden from view.



East Wing Extension Analysis - First Floor



East Wing Extension Analysis - Ground Floor

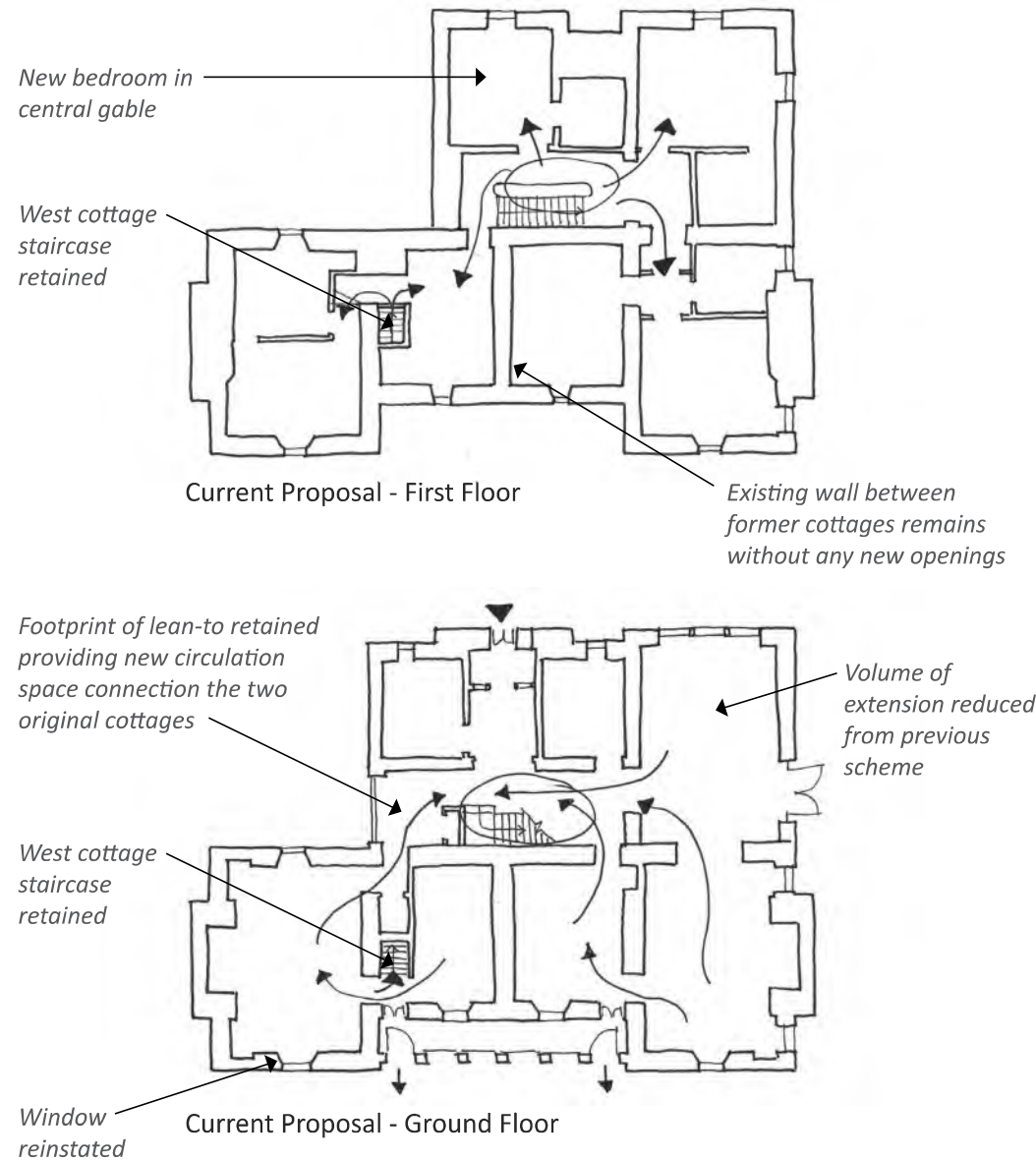
The **current proposal**, which we have developed since the site meeting on the 14.02.25, and subsequent Teams meeting on the 27.03.25, is a development of the previous withdrawn application. We feel the feedback provided has positively impacted the design, making the design of the extension work harder to positively impact the existing historic fabric.

This current proposal retains the footprint of the lean-to to provide the new circulation space that connects the two floors, the two original cottages, and the new accommodation in such a way to maximise and respect the use of the existing spaces, and minimises the disruption to the existing fabric. This creates a valuable 'core' to the building, which connects the old and the new, in a more direct and meaningful way than further disconnecting the new accommodation from the existing house.

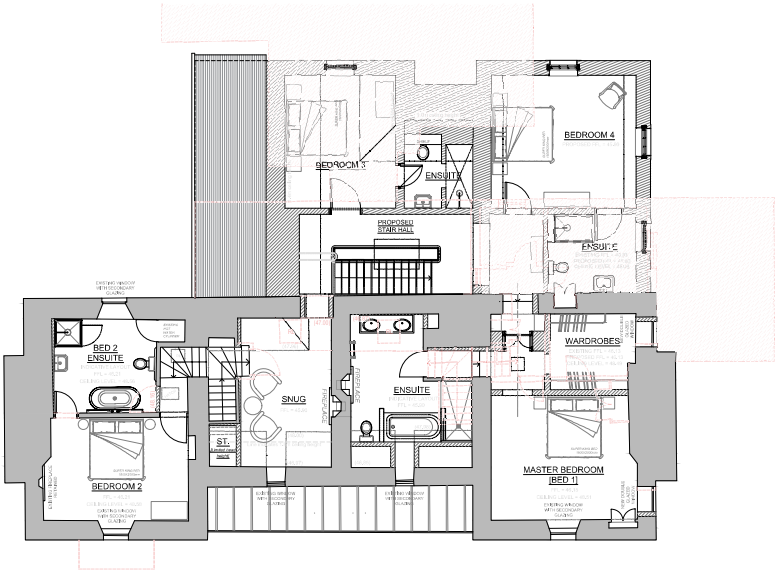
In the revised proposals we have incorporated the external walls of the lean-to into the proposals - helping to form the new stair enclosure, and retaining the legibility of the original footprint. Whilst we are proposing that the roof is removed to accommodate the stair, we have kept the essence of the lean-to by forming a new lean-to at right angles to the original building. At first floor level we have re-worked the plans to provide a bedroom in the new central gable, which has allowed us to rationalise the layout, and eliminate the need to form any openings in the central wall between the original cottages. The use of the central stair core here helps strengthen the identity of the two cottages, in that they are accessed independently without having to go between them.

Although there is a small area of flat roof proposed (around a fifth of the total area of the extension), the extension will be predominantly pitched and will appear as such in views towards the north elevation. There are ample historical precedent for small, discreet areas of flat roof within historic roofscapes. Given the low roof space within the central section of the original building it serves as a way to make better use of these spaces in the context of a larger family home.

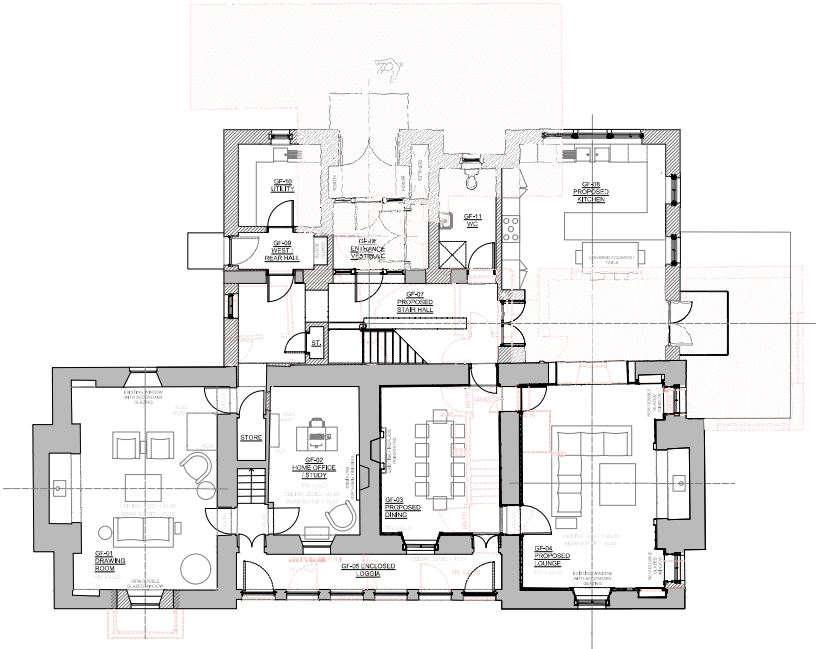
This review exercise has resulted in us tightening up the overall plan, resulting in a smaller extension overall including the removal of the sun-room extension to the east.



The volume of the extension has also been reviewed and reduced. The ridge line is kept below the existing and the wall now is stepped in from the original. In line with the feedback we have also removed the rooflights from the loggia roof, and the sun room extension to the east of the house. This will further emphasise and respect the symmetry and significance of the south elevation. Please refer to section 7, schedule of works for the proposed materials and finishes for the existing dwelling and extension.



Current Proposal - First Floor



Current Proposal - Ground Floor

The Historic Interior

Alterations have been proposed to the original interior layout to facilitate the connection to the new extension and provide a layout that promotes modern day living. Generally the spaces have been kept in-tact, with the exception of the removal of the east stair, and new internal partitions at first floor level.

New Openings

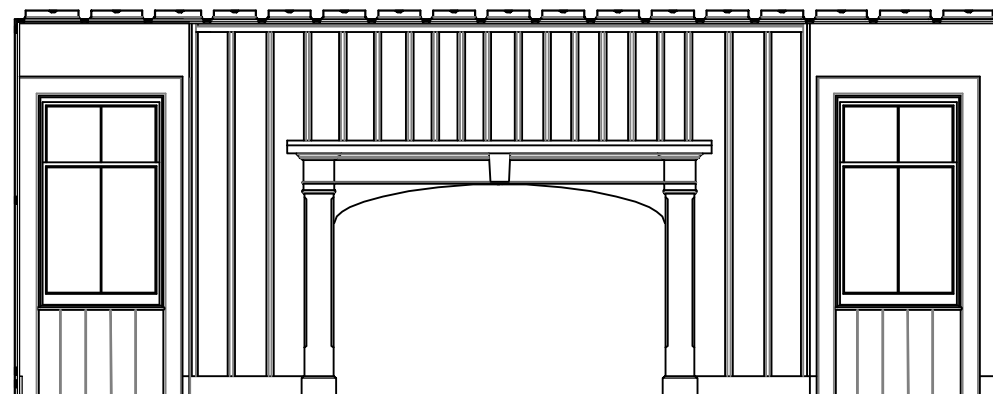
The recent design changes have helped refine the scheme and has reduced the number of openings in the original fabric to a minimum compared to the previously submitted scheme. No openings are proposed between the two former cottages, as all circulation will be through the new rear extension. One new slapping is proposed at first floor to access the extension, and one window opening at ground floor will be enlarged; both of these proposed changes are to the rear elevation, which has seen change in the past and is of less heritage significance overall.

Original Stairs

Following feedback, we propose to retain the stair in the former west cottage and remove the stair in the former east cottage. Both stairs, whilst original, do present challenges in usability and safety. The east stair had already been altered to suit the layout of the previous alterations.

Interior Panelling

The interior panelling is proposed to be retained. It will remain exposed in the former west cottage ground floor rooms. It will also remain around the chimneypiece wall, preserving the appearance of the inglenook fireplace in the former east cottage principal room. On the other walls in this room the internal panelling will be covered, but this will be a fully reversible change which will preserve the panelling in situ, and avoid alteration to accommodate modern-day services. We note that careful attention to detail will be required at all junctions and a room layout and initial details have been drafted for this as part of the submission. A photographic record of each room would be taken prior to any works being carried out.



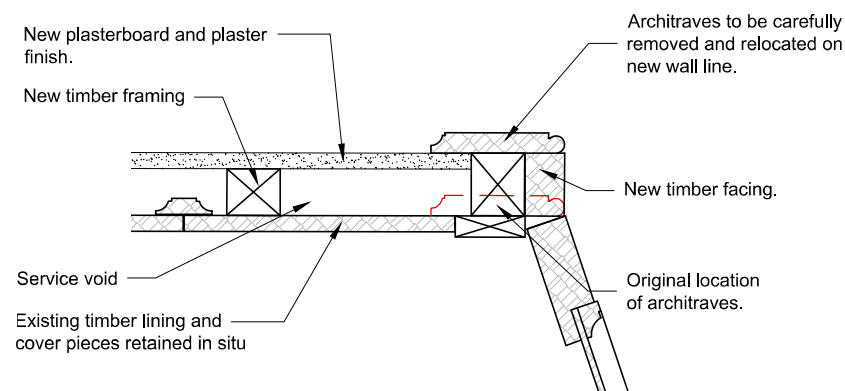
Proposed Lounge - East Elevation showing retained panelling around chimney breast



Panelling Detail



Proposed Dining Room, South Elevation



Example Window Detail



Former East Cottage - Proposed Lounge
Refer to room layout drawing for proposed alterations



Former East Cottage - Proposed Dining Room
Refer to room layout drawing for proposed alterations



Former West Cottage - Proposed Drawing Room
Existing timber panelling to be repaired as necessary and painted



Former West Cottage - Proposed Home Office / Study
Existing timber panelling to be repaired as necessary and re-painted

Windows

There are various types of windows in the building. Two windows appear to be original to the house. These are located on the west wing north elevation and are referred to as Window Type 1. They are four over eight sash and case windows with laying panes. It is proposed for these windows to be overhauled and upgraded with secondary glazing installed. The shutters are also proposed to be retained and overhauled as necessary. A former type 1 window also exists in the east gable of the original cottage which now forms an internal connection between the existing cottage and the extension. This window has been altered to operate as a casement window and it is intended that it will be removed so that the opening can be enlarged. The shutters, architraves and surrounding panelling will be salvaged and used to form the restored window opening on the south elevation.

On the south / principal elevation, the windows on the first floor of the east and west wing appear to have been replaced at some point. Possibly at a time when larger panes of glass were more commonly available. These sash and case windows continue the same proportions as the existing windows to the rear, but rather than being four over eight, they are simply two over two. An onsite review of these windows took place to see if the astragals had simply been removed from the sashes, but there was no evidence of this, therefore it can be assumed these have been replaced. These windows are referred to as Window Type 2 and are proposed to

be overhauled and upgraded with secondary glazing installed. Similarly to above, the shutters are also proposed to be retained and overhauled as necessary. The two existing dormer windows [Window Type 3] are also proposed to be overhauled and upgraded with secondary glazing installed.

The remainder of the windows and doors are not considered to be original to the building. There are a mixture of different materials and styles. On the east elevation two new windows have been formed, with a concrete cill, lintel and quoins. These windows are proposed to be removed, the openings altered and formed in stone to match the existing, and new double glazed timber windows installed. It was hoped the size of the existing astragals would be sufficient to be replicated for the new windows to house double glazing, however this is unfortunately not the case, and in order to retain the existing proportions of the astragals plant on astragals are proposed for the new double glazed windows.

The rooflights proposed on the west elevation are to be recessed conservation rooflights.



Window Type 1 - Four over Eight Sash and Case



Window Type 2 - Two over Two Sash and Case



Window Type 3 - Existing Dormer Windows

Doors

The two existing former external doors to the cottages, within the now enclosed loggia are proposed to be retained as existing. See adjacent photographs of the attention to detail given regarding the interface of the door with adjacent the wall reveals when the door is held in the open position. These details will be retained in the proposals.

The existing original internal doors are proposed to be retained. These are timber lined doors with an exposed bottom, top and mid-rail to the rear of the door. Any new doors in the existing dwellinghouse will match these doors. Doors in the extension on the ground floor will be of a similar design with glazing introduced.



Existing Former External Doors to South to be retained



Existing Former External Doors to South to be retained



Existing Internal Doors to be retained.

Fireplaces

The proposals acknowledge fireplaces containing original features are part of the decorative history of a building and are often central to the design of a room.

The large inglenook fireplaces with flagstone hearth and modern stoves are proposed to be retained in the principal rooms. The modern layers of paint on the masonry recess are proposed to be carefully removed. This will be achieved with a poultice paint stripper or similar. Test patches have been carried out to expose the stone behind, and this is proposed to be carefully cleaned and re-pointed as necessary.

The timber chimneypiece with cast iron inset in home office / study is proposed to be retained. In the proposed dining room, the timber chimneypiece is also proposed to be retained, and a new / salvaged cast iron inset is proposed. This fireplace has been blocked up previously, and a modern radiator is situated in the centre of the existing chimneypiece which will be removed as part of the proposals.

On the first floor the existing chimneypiece and inset is proposed to be retained in bedroom 2. For the 2no. central rooms, similar to one of the rooms below, the chimneypieces remain, but the openings have been blocked. It is proposed for these fireplaces to be reinstated as part of the works.



Large inglenook fireplace in principal rooms to be retain



Proposed Study and Bedroom 2 fireplaces to be retained



Existing chimneypiece in proposed formal dining room to be retain and new cast iron inset proposed



1 of 2no. existing fireplaces at first floor blocked, to be reinstated as part of the works

External Repairs and Upgrades

In addition to the above-mentioned alterations and extension, general repairs are also proposed to the externals. These include, stripping and re-slating of the existing slate roofs, which will allow for insulation to be included from above. New lead ridges, valleys and flashings as necessary. All existing UPVC rainwater goods to be removed and replaced with painted cast iron. At present, maintenance work is ongoing, demonstrating a proactive and responsible approach by the owner, this includes the removal of dense vegetation against the existing masonry walls and re-pointing in lime mortar. A separate listed building consent application has also been submitted for the taking down and rebuilding of the 3no. existing chimneys following previous discussions with PKC.

The services for the house including the electrics and plumbing work are also proposed to be renewed. A wet underfloor heating system is proposed to the ground floor and new radiators upstairs. As part of the works to the floors and roofs the insulation is proposed to be improved.



1no. of 3no. existing chimneys to be taken down and rebuilt as part of separate listed building consent application.



South Elevation showing poor quality UPVC rainwater goods and enclosed loggia window and doors, each to be replaced.

Dwellinghouse Design Development Summary

As previously described, the rear extension facilitates a connection to the existing house which resolves issues which are a result of the cottages becoming combined, and the construction of the flood wall meaning that access to the south of the building is restricted. The feedback from PKC and HES has helped inform the design process and helped define how the extension can positively reduce the impact on the original historic fabric whilst creating a modern home in the sense of arrival, flow and the provision of appropriate accommodation.

In summary from the original scheme which was submitted in December 2024, the following improvements and conservation gains have been made:

- Former west cottage timber bay window removed and replaced with window detailed to match existing on east gable.
- The existing poor-quality infill panels and anachronistic upper lights in the loggia will be removed, and replaced with more unobtrusive and appropriate windows and doors.
- Imposts in the loggia arcade which have been cut back will be reinstated.
- The stair in the west cottage will be retained.
- The current scheme has reduced the number of openings in original fabric to a minimum compared to the previously submitted scheme.
- The interior panelling is proposed for retention, and will remain visible and the former west cottage and concealed in the former east cottage protected from alterations to introduce modern services.
- Extension will be a traditional lime render with stone margins.
- The existing asbestos soffit boards will be removed, exposing the rafter ends and restoring this part of the building to an appearance more consistent with the original pair of cottages.
- Dormer finials reinstated similar to those on the gables.
- Proposed loggia rooflight omitted from scheme design.
- Proposed hipped roof sunroom extension omitted from scheme design.
- Overall footprint of the building reduced by approx. 32m².

With regards to the footprint of the dwellinghouse, this can be summarised as follows:

Existing Footprint:

Total: 324.6m²

Including the existing double garage and workshop / ancillary accommodation

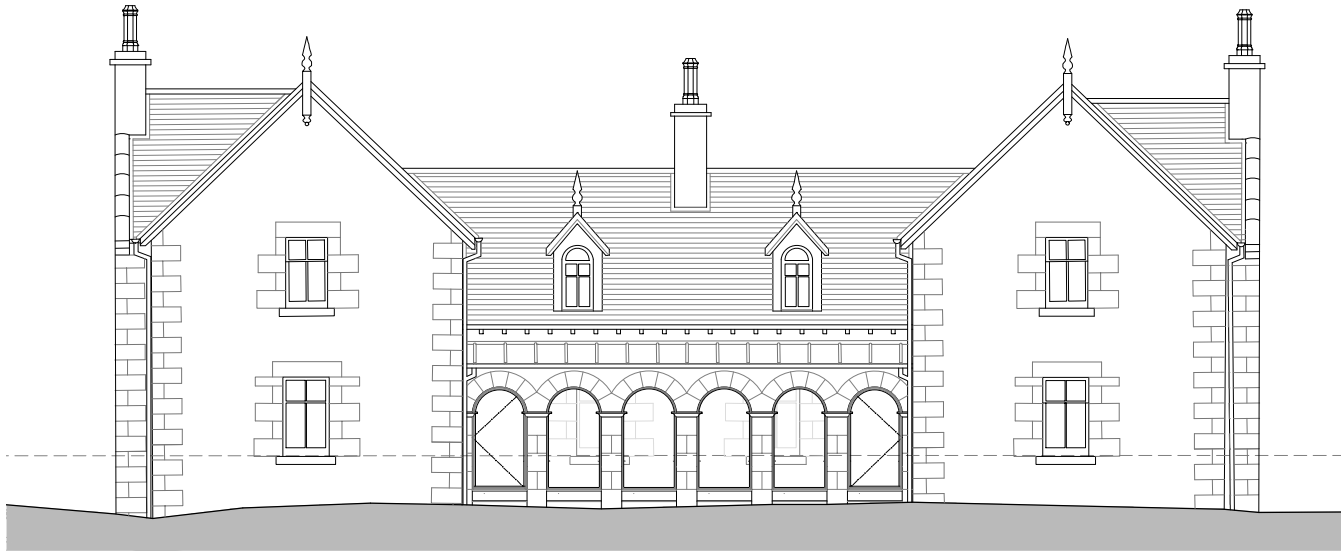
Downtakings:

- Existing Double Garaging & Ancillary Accommodation: 77.1m²
- Existing 1970s Extension: 39.2m²
- Existing Timber Bay Window: 2.4m²
- Total: 118.7m²

Proposal:

- Existing Dwellinghouse [retained footprint] = 205.9m²
- Proposed Rear Extension = 86.9m²
- Total: 292.8m²

Therefore, the overall proposed footprint is approx. 32 m² less than the existing footprint.



South Elevation - current proposal



North Elevation - current proposal

6. PROPOSED OUTBUILDING

Erection of New Double Garage with Plant Room

The Proposal

To replace the existing double garage that is proposed to be removed as part of the remodelling of the existing dwellinghouse, a new double garage and plant room is proposed on the north-east corner of the site, outwith the flood plain for the 1 in 200 year flood plus climate change. As part of the initial proposals it was planned for the outbuilding to be located closer to the existing dwelling. However following feedback received from Atholl Associates, as part of the Flood Risk Assessment, the new outbuilding was relocated to avoid further development on the flood plain.

From the initial application that was submitted in February of this year, the proposals have been scaled back, removing the ancillary accommodation at first floor and focusing solely on the double garage and plant room. The overall scale and mass of the building has reduced as a result, and the ridge height now sits below the ridge of the existing dwellinghouse, reinforces that it is subsidiary to the listed building. It has been implied the proposal would be outwith the curtilage of the listed dwelling, as the initial application for listed building consent for this part of the site was returned by Perth & Kinross Council as the Local Planning Authority.

Materials

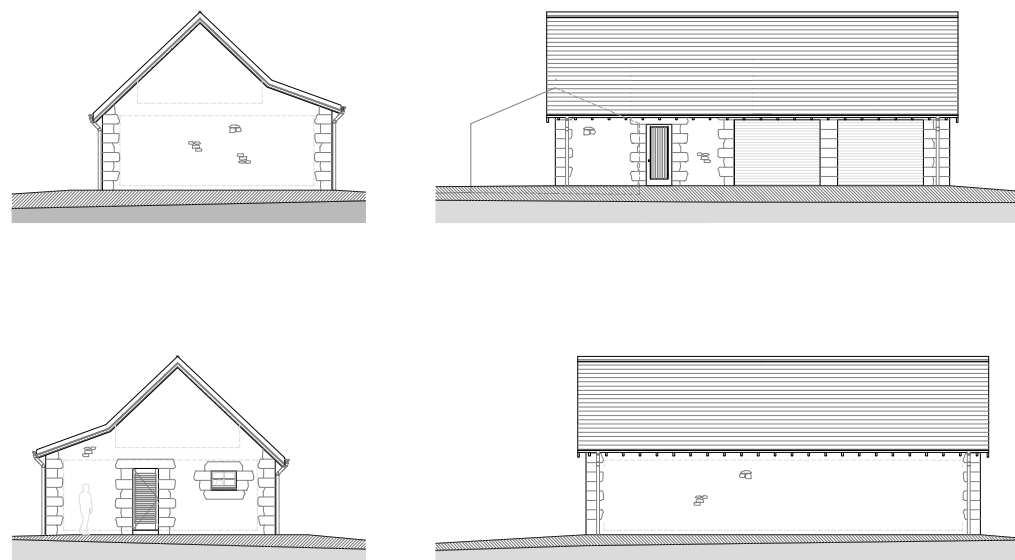
The new development aims to reflect local buildings and the materials they were traditionally built with. Materials such as stone walls to match the existing principal dwelling, a slate roof, and painted timber windows and doors are proposed that will complement the sense of place and the existing building. They are proposed to be of a high-quality and sustainable material from local sources wherever possible. The use of stone detailing to match the existing house will also be considered to assist in the overall sense of the local character. This will be a marked improvement over the quality of the existing garage and workshop accommodation which currently exists on the site, which is proposed to be removed as part of the proposals for the main house.

Mass & Detailing

Careful consideration of finishes and detailing have been incorporated into the proposals to allow the development to integrate effectively into the context. A key principle from the existing house roof formation has been included - a 45degree pitch to the principal façade and a gentler sloping pitch to the rear. This lean-to to the rear helps to break down the overall scale, height and mass of the new outbuilding. The footprint of the proposed double garage with plant room totals 114.8 m².

Energy Efficiency

The new development proposes to reduce reliance on fossil fuels using alternative sustainable forms of energy production. As part of the application, our client seeks permission to install a ground source heat pump borehole system for serving the principal dwelling with the plant equipment located within the new outbuilding.



Proposed Elevations

7. SCHEDULE OF WORKS

Existing Building

In addition to the above, the notes below outline the schedule of works and proposed methodology where alterations are being made to the listed building:

Stripping and Re-Slating Existing Roofs:

Remove the existing slates and set aside for reuse as appropriate; Allow for circa 25% replacement of existing sarking boards. New sarking boards to match the existing, allow for 22mm thick butt-jointed; Lay new breather membrane; Re-slate using the existing slates where possible and allow for second hand Scot slate to make up any shortfall. Slating to match existing traditional Scottish style slate roof with random sizes and diminished courses.

External Walls:

In the former west cottage, the existing timber linings are proposed to be retained and repaired as necessary. Where the timber bay window is proposed to be removed and replaced with a new double glazed window, the joinery items, including the window shutters and timber linings are proposed to be reused from the new opening formed in the east cottage north wall.

In the former east cottage, the timber linings are proposed to be concealed behind new plasterboard linings. The linings will remain visible around the large inglenook fireplace. Room layout drawings and details have been prepared as part of the submission illustrate the proposals for these two rooms in further detail, as

requested in previous correspondence with PKC.

Overhauling the Existing Timber Windows:

Cut out and renew rotten or defective timber; Where applicable, renew sashcords with waxed cotton cord; Adjust weights as necessary; Rake out beneath cill and form a drip as necessary; Broken panes of glass to be replaced with reclaimed or reproduction crown glass; Hack off defective putty and review; Generally, ease and adjust and leave all windows running smoothly; Rake out and renew all sand and linseed oil mastic pointing to allow windows. Repairs to be carried out in accordance with the SPAB Technical Advice Note-Repair of Wood Windows.

New Double Glazed Windows:

Where new windows are required these will be double glazed. In order to retain the proportions of the existing astragals, plant on astragals are proposed. Standard integral astragals would have been preferred, but due to the narrow profile, this is unfortunately not possible without changing the detailing of the profile significantly.

Existing Floors:

The existing suspended timber floor is proposed to be lifted, setting any original floorboards aside for reuse. A new lime slab with underfloor heating is proposed. The floor finish in the former west cottage will be the relaid existing timber boards. New flagstones are proposed in the former east cottage.

Extension

The extension will consist of the following build-ups:

External Walls: Lime render with lime wash with dressed stone margins around the windows and doors, blockwork outer leaf, cavity partially filled with insulation, blockwork inner leaf, vapour barrier, service void, new internal wall finish, typically moisture resistant plasterboard, plaster and paint finish.

Floor: Solid construction for the ground floor comprising of hardcore, sand blinding, membrane, concrete floor slab, insulation, polythene separating layer, concrete levelling screed, with wet underfloor heating and floor finishes as confirmed with client. The first floor will be constructed using new timber floor joists, as per the existing first floor construction.

Roof: Second hand Scot slate, to match existing traditional Scottish style slate roof with random sizes and diminished courses, breather membrane, open jointed softwood sarking boards, timber roof trusses packed with insulation, vapour barrier, service void, new internal finish, plasterboard with plaster and paint finish.

Windows: New painted timber windows, made from accoya, with plant on astragals to match existing profile.

Rooflights: Recessed conservation style.

Doors: As per windows, new painted timber doors, made from accoya.

New Stair: New timber staircase.

8. PLANNING CONTEXT & ASSESSMENT

Ryden was appointed to produce the following planning policy assessment.

Sections 25 and 37 (2) of the Town and Country Planning (Scotland) Act 1997 (as amended) direct that planning applications should be determined in accordance with the Development Plan unless material considerations indicate otherwise. In this instance the Development Plan includes NPF 4 and the Perth and Kinross Local Development Plan adopted on 29th November 2019.

In assessing the application, the following issues require to be addressed:

- The extent to which the proposal supports the aims and objectives of development plan policies, and the extent to which those policies support the proposal.
- The acceptability of the proposal in principle in terms of land use and design quality.
- The impact which the proposal may have on the setting of nearby listed buildings.
- Whether the proposal is accessible and acceptable in relation to transportation infrastructure.
- Whether the proposal can be delivered and operated without significant environmental impacts including impact on the amenity of neighbouring residents.
- Any other relevant material considerations.

In addition, Section 59 Planning (Listed Buildings and Conservation Areas) (Scotland) Act 1997 defines a

general duty to local planning authorities in respect to Listed Buildings in exercise of planning functions as follows:

- In considering whether to grant planning permission for development which affects a Listed Building or its setting, a planning authority, or the Secretary of State as the case may be, shall have special regard to the desirability of preserving the building or its setting or any features of special architectural or historic interest which it possesses.
- Without prejudice to Section 64, in the exercise of the powers of disposal and development conferred by the provisions of Sections 191 and 193 of the principal Act, a planning authority shall have regard to the desirability of preserving features of special architectural or historic interest and, in particular, Listed Buildings.
- In this section, “preserving”, in relation to a building, means preserving it either in its existing state or subject only to such alterations or extensions as can be carried out without serious detriment to its character, and “development” includes redevelopment.

NPF 4

National Planning Framework (NPF) 4 has status as part of the development plan. There are six overarching spatial principles in NPF4 that state what the Scottish Government aims to deliver including:

- Just transition. To empower people to shape their

places and ensure the transition to net zero is fair and inclusive.

- Conserving and recycling assets. To make productive use of existing buildings, places, infrastructure and services, locking in carbon, minimising waste, and building a circular economy.
- Compact urban growth. To limit urban expansion so we can optimise the use of land to provide services and resources, including carbon storage, flood risk management, blue and green infrastructure and biodiversity.

Other key policy requirements of NPF 4 are also relevant to different degrees as follows:

- Policy 1 Tackling the climate and nature crises
- Policy 2 Climate mitigation and adaptation
- Policy 3 Biodiversity
- Policy 7 Historic Assets
- Policy 12 Zero Waste
- Policy 13 Sustainable Transport
- Policy 19 Heat and Cooling

Policy 1 (Tackling the climate and nature crises) states that when considering all development proposals, significant weight will be given to the global climate and nature crises.

The policy intent is to encourage, promote and facilitate

development that addresses the global climate emergency and nature crisis and the key policy outcomes are the transition to zero carbon and nature positive places. The proposed replacement plant and improved environmental building performance are consistent with the core terms of this policy.

Similarly, Policy 2 (Climate mitigation and adaptation) aims to encourage, promote and facilitate development that minimises emissions and adapts to the current and future impacts of climate change so that emissions from development are minimised and our places are more resilient to climate change impacts.

Specifically, the requirements of Policy 2 are relevant and met by the proposal. Policy 2 states that development proposals are sited and designed to: minimise lifecycle greenhouse gas emissions as far as possible; designed to adapt to current and future risks from climate change; and, to retrofit measures to existing developments that reduce emissions or support adaptation to climate change will be supported.

The proposal includes a new energy-efficient kitchen extension, restoration/replacement of windows and a Ground Source Heat Pump which will reduce operational carbon emissions compared to the existing building.

Outbuildings proposed for demolition are in a state of disrepair and no longer fit-for-purpose. They will be replaced by a new garage/storage outbuilding and plant room which is located outwith the floodplain which

demonstrates betterment in this regard, as shown in the submitted Flood Risk Assessment.

Policy 3 (Biodiversity) aims to protect and enhance biodiversity. Existing trees and garden space will be retained. A biodiverse garden design will be developed as part of the development works.

Policy 7 (Historic Assets) aims to protect and enhance historic environment assets and places.

Policy 7a) states that development proposals with a potentially significant impact on historic assets or places will be accompanied by an assessment which is based on an understanding of the cultural significance of the historic asset and/or place. The assessment should identify the likely visual or physical impact of any proposals for change, including cumulative effects and provide a sound basis for managing the impacts of change.

Proposals should also be informed by national policy and guidance on managing change in the historic environment, and information held within Historic Environment Records.

Policy 7c) states that development proposals for the reuse, alteration or extension of a listed building will only be supported where they will preserve its character, special architectural or historic interest and setting. Development proposals affecting the setting of a listed building should preserve its character, and its special

architectural or historic interest.

A Heritage Statement has been submitted as part of the application which provides detail on the cultural significance of the historic asset and identifies potential impacts.

The proposals are for the removal of the rear garage and workshop. This part of the property is of poor quality and appearance, and its removal will be a significant conservation gain for the property overall. The existing 1970s extension will also be removed: while this work is not as detrimental to the character of the listed building as the garage, it does not make a positive contribution to the significance of the site.

A new extension will be constructed at the rear of the building, at the east end of the north elevation. The concentration of the new work on the east side of the building means that it is principally affecting fabric which has already seen substantial change, mostly during the ownership of Peter Castle-Smith in the later twentieth century, and allows the more intact plan of the west cottage to remain in place. It will also create vital circulation space at first-floor level: currently, although there is access between the two halves of the house at ground-floor level there is no permeation between them at first-floor, limiting the function of the building as a single family home, which it has been for at least thirty years.

The proposals do call for the removal of the roof of the

rear lean-to, which will affect the appearance of the building in views from the north. However, this element, although original, is a rear service area to a building where the special interest of the site resides primarily in its south elevation and its relationship with its setting. The proposals involve the retention of some fabric from walls of the lean-to, and the proposed stair hall will be constructed to the same footprint, meaning that this space will remain legible in the new building. In addition, the form of the new central wing replicates the existing form of the central part of the building, including its sweeping lean-to roof, providing a reference to the original building form. This new roof section which will be finished in slate laid traditionally in diminishing courses with random widths, replicating the style of the earlier roof. The lean-to could be archaeologically recorded prior to its removal.

In addition to the rear extension, original features on the principal (south) elevation will be fully restored along with a suite of improvements and enhancements to windows and interior spaces. These include the removal of other non-original features such as the bay window on the south elevation of the west cottage, harling on the east gable, asbestos soffit-boards, a felt roof on the loggia, and uPVC rainwater goods. Slapped windows with concrete lintels will be removed and replaced with windows detailed to match earlier ones. Internal timber panelling will also be retained. The covering of some of the panelling in the east cottage is a reversible change

which will preserve this feature in situ.

Although some impacts are identified in the Heritage Statement, when viewed as a whole the proposal is considered to preserve the building's character, special historic/architectural interest and setting. The proposal represents a much needed opportunity to fundamentally restore a B-listed building which is currently in disrepair, while sensitively adapting it to modern living standards.

Further assessment against heritage policy and guidance considerations can be found in the Local Development Plan section below.

The proposal is also consistent with Policy 12 (Zero Waste) which aims to encourage, promote and facilitate development that is consistent with the waste hierarchy. One of the key policy outcomes is that the reduction and reuse of materials in construction is prioritised. Policy 12 states that a) development proposals will seek to reduce, reuse, or recycle materials in line with the waste hierarchy. And, b) development proposals will be supported where they:

- i. reuse existing buildings and infrastructure;
- ii. minimise demolition and salvage materials for reuse;
- iii. minimise waste, reduce pressure on virgin resources and enable building materials, components and products to be disassembled, and reused at the end of their useful life;
- iv. use materials with the lowest forms of embodied

emissions, such as recycled and natural construction materials;

v. use materials that are suitable for reuse with minimal reprocessing.

The proposal embodies these core principles where they are directly applicable in the design and delivery. Materials will be responsibly sourced and assessed for durability and recyclability.

The proposal is located at an existing dwellinghouse. The access track to the property from the A984 is a 19-minute cycle from Dunkeld train station which is considered reasonable. An electric vehicle charging point is proposed on the garage. The proposal is consistent with the terms and key aims and objectives of Policy 13 (Sustainable Transport).

Policy 19 (Heat and Cooling) of NPF 4 seeks to encourage, promote and facilitate development that supports decarbonised solutions to heating and cooling demand and ensure adaptation to more extreme temperatures so that buildings and places are adapted to more extreme temperatures.

The energy performance of the proposed development focuses on maintaining thermal comfort within the building. This will be achieved using a Ground Source Heat Pumps for Direct Heating and Hot Water systems.

Local Development Plan

The Perth and Kinross Local Development Plan 2 was adopted in 2019 and is therefore somewhat out of date and superseded by NPF4. There is no directly applicable site policy or allocation that covers the site.

Policy 1A and 1 B Placemaking requires that development must contribute positively to the quality of the surrounding built and natural environment.

All development should be planned and designed with reference to climate change, mitigation and adaptation. The design, density and siting of development should respect the character and amenity of the place, and should create and improve links within and, where practical, beyond the site. Proposals should also incorporate new landscape and planting works appropriate to the local context and the scale and nature of the development.

This is a core policy encouraging good design and placemaking. The integrated nature of the proposal deals with the site as a whole and the reduced scale of the ancillary buildings, appropriate materials, built form and improvements both internally and externally to the fabric of the listed building are all consistent with key policy objectives.

Perth and Kinross' associated Placemaking Guide (2020) states that:

An extension to a building can be conceived to either appear as an integral part of the original architecture or,

alternatively, it may be of a contemporary or contrasting design. In the former, an extension may go unnoticed. In the latter case the extension would purposefully be different yet aim to be equally compatible and complementary.

In this instance, the rear extension has been designed to be integrated cohesively with the existing architecture in its built form. The extension will be finished with a lime painted render finish in contrast to the original stone fabric. Stone quoins and margins will provide complementary detailing.

With regard to shape, scale & form, the guidance states that extensions should:

Respect the shape, scale and proportions of the existing building and relate to the roof pitch and original building depth.

- In most cases an extension should be a subordinate addition in all respects.
- New roof ridges should not normally exceed the height of the original. A new ridge line which is set lower than that of the original will generally be more acceptable.
- Extensions should seek to achieve a building depth which respects traditional building forms and avoids dependence on artificial lighting and ventilation.

The proposed extension relates appropriately to the original building depth and the proposed roof pitch is lower than the original building. Overall, the extension

can be considered subservient to the listed building.

With regard to the proposed garage outbuilding, the ridge height will be lower than the ridge height of the listed building and is sufficiently set back from the main dwellinghouse in order to remain subservient. The proposed garage will replace a number of deteriorating outbuildings which are cluttering/concealing the rear of the listed building and harming its setting. The proposal represents a significant betterment in this regard.

With regard to detailing, stone and mortar specification will match existing. Slapped windows with concrete lintels will be removed and replaced with windows detailed to match earlier ones. Internal timber panelling will also be retained. The covering of some of the panelling in the east cottage is a reversible change which will preserve this feature in situ.

Policy 27 Listed Buildings (Part A) states that there is a presumption in favour of the retention and sympathetic restoration, correct maintenance and sensitive management of listed buildings to enable them to remain in active use, and any proposed alterations or adaptations to help sustain or enhance a building's beneficial use should not adversely affect its special architectural or historic interest.

Encouragement will be given to proposals to improve the energy efficiency of listed buildings within Perth and Kinross, providing such improvements do not have a significant detrimental impact on the special

architectural or historic interest of the building.

Enabling development may be acceptable where it can be shown to be the only means of preventing the loss of listed buildings and securing their long-term future. Any development should be the minimum necessary to achieve these aims. The layout, design, materials, scale, siting and use of any development which will affect a listed building or its setting should be appropriate to the building's character, appearance and setting.

Part B of Policy 27 relates to demolition of listed buildings and is not relevant.

In terms of the key policy test and assessment of this application, much rests on matters of fact and degree and judgement.

Policy clearly allows change and extension and the analysis is therefore focussed on adaptation and extension to allow beneficial long term use and maintenance of the fabric.

The Heritage Statement considers significance and a hierarchy of principal elevation vs rear elevation of the property. The rear of the building is already impacted by incongruous buildings, an existing flat roof extension and visual clutter. The proposal is to remove these features and then to add additional accommodation that allows the existing main cottages to be functionally used, reduce the slapping and interventions at first floor level and provide adequate access and circulation.

There are positives and negatives of the proposal and on balance, it would be reasonable, on the basis of the heritage impact assessment analysis to conclude that overall there is a positive effect or at worse neutral effect with significant enhancement to the principal elevation. The garage and plant building lies beyond the immediate curtilage and is itself of sensitive designed scale. It is appropriate and does not detract from setting.

The improvements to the fabric and main/principal elevation, the extent of very specific detailing, preserving and enhancing the original western cottage, and the sensitive use of traditional quality finishes and materials means the building can be successfully adapted.

The floorspace added for accommodation is reusable, and less than the existing footprints being removed. The design also provides usable accommodation, better circulation and limits impact to consideration of the 'catslide' lean-to roof to the rear of the property, which was originally designed as a service area of low significance compared to the principal elevation.

Overall, the application is sympathetic and sensitive, and does not have a detrimental impact.

The Heritage Statement is therefore a useful tool in assessing this as well as the basis of legislation.

Historic Environment Scotland policy also advises that there is a presumption against works that adversely affect the special interest of a Listed Building or its

setting but recognise that Listed Buildings will however, require alteration and adaptation from time to time if they are to remain in beneficial use, and will be at risk if such alteration and adaptation is unduly constrained. In most cases such change, if approached carefully, can be managed without adversely affecting the special interest of the building.

Knowing what is important about a building is central to an understanding of how to protect its special interest.

HES guidance summarises key messages and states:

"For a building to stay in use over the long term, change will be necessary. This reflects changes over time in how we use our buildings and what we expect of them. This should always be considered carefully and avoid harming the building's special interest. A building's long-term future is at risk when it becomes hard to alter and adapt it when needed. Proposals that keep buildings in use, or bring them back into use, should be supported as long as they do the least possible harm."

Overall, this proposal has been carefully designed and is sympathetic to the listed building. It is compliant with a fair reading of the policy and its intent and supported by NPF4 and HES Policy guidance.

Policy 32 (Embedding Low and Zero Carbon Generating Technology in New Development)

applies in part as the proposed development is an extension and alteration to an existing building.

Nevertheless, as far as it is applicable, the proposal incorporates such target reductions and good practice and is consistent with the terms of the policy.

Other Material Considerations

Historic Environment Scotland's (HES) Managing Change Series provides non-statutory guidance which is a material consideration in the assessment of applications relating to listed buildings.

HES' guidance on roofs states that:

- The roof and associated features of a historic building, or group of historic buildings, form important elements in defining their character.
- The significance of a historic roof is derived from a number of factors including its age, functional performance, shape and pitch, profile, and the qualities of its supporting structure, covering materials and associated features.

HES' guidance on extensions states that:

- Most historic buildings can be extended sensitively. Listed building consent is required for any works affecting the character of a listed building and planning permission may be required in a conservation area.
- Extensions must protect the character and appearance of the building; should be subordinate in scale and form; should be located on a secondary elevation; must be designed in a high-quality manner using appropriate

materials.

HES' guidance on interiors states that:

- The interest, experience and enjoyment of a historic interior can be derived from a number of factors including its design, structural plan and layout, the quality of its decorative scheme, materials and craftsmanship, fixtures and fittings, any associated archaeology, and historical and cultural associations.
- The significance of the interior and the nature of proposed works and their impact should be carefully assessed. A Heritage Statement, and if appropriate a Design Statement, will help assess and inform the appropriateness of any proposed changes. Proposals for interior alteration should always seek to protect the character of the building

The key determining issue of the application requires judgement, in the round, in terms of the impact on the heritage asset. That judgement first requires to understand the significance of the heritage asset and how the proposal might have both positive and negative elements that need to be considered overall.

Listed Buildings can be modified and adopted through time. Conservation is not a static preservation presumption but rather looks to evolve and protect future use. Modification and adaption of buildings can include significant changes.

The submitted scheme, the above policy assessment and

the Heritage Statement demonstrate how the proposal has taken into account the relevant HES guidance.

All relevant factors have been carefully considered by heritage specialist architects Simpson and Brown. They have undertaken a thorough assessment of the significance of the property and the application is generally consistent with both parts of the development plan.

9. CONCLUSION

The proposals are for alterations to Boat of Murthly, a Category B listed building near Dunkeld, Perth & Kinross. Boat of Murthly was built in the mid-nineteenth century as two semi-detached estate cottages to house estate workers (including a ferryman). At some point in the later twentieth century the two properties were united into one house, and a number of alterations were made including the addition of a rear extension and garage.

The proposals are for the removal of existing poor-quality extensions to a listed building, and their replacement with an extension of far higher quality, which draws its design inspiration from Boat of Murthly itself. This is a positive development. There are also numerous conservation gains proposed for the building which will improve its appearance and its integrity as well as its thermal performance and its resilience to climate change.

There will be some changes to the historic fabric, however these changes have been concentrated in areas of the building which have seen the most change in the past. Areas which retain the greatest authenticity are the south and west elevations and the planform of the west cottage; these areas are seeing very little alteration with the exception of conservation gains, such as the removal of the non-original bay window and the removal of paint from chimneypieces.

Not only have the elements proposed for greater change seen more change in the past, they are all areas of the

building which have lower cultural-heritage significance. This is in part due to their lesser authenticity, but also due to lower architectural and aesthetic interest, which is concentrated in the south elevation and also in the relationship of the building to its setting on the River Tay, which is one of the most important elements of Boat of Murthly's heritage value.

Given the minimal impact on the most significant elements of the Boat of Murthly, and the accompanying extensive programme of conservation gains proposed as part of these works, it is not anticipated that there will be a significant adverse impact on the listed building as a result of the proposed changes.

High quality materials will be used throughout the scheme which reflect and respond to the character of the listed building.

The proposed garage outbuilding and plant room will be subservient in scale to the main dwellinghouse and will be located outwith the identified floodplain.

The proposal complies with the local development plan and there are no other material considerations that outweigh this conclusion.

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Architecture

Heritage Consultancy

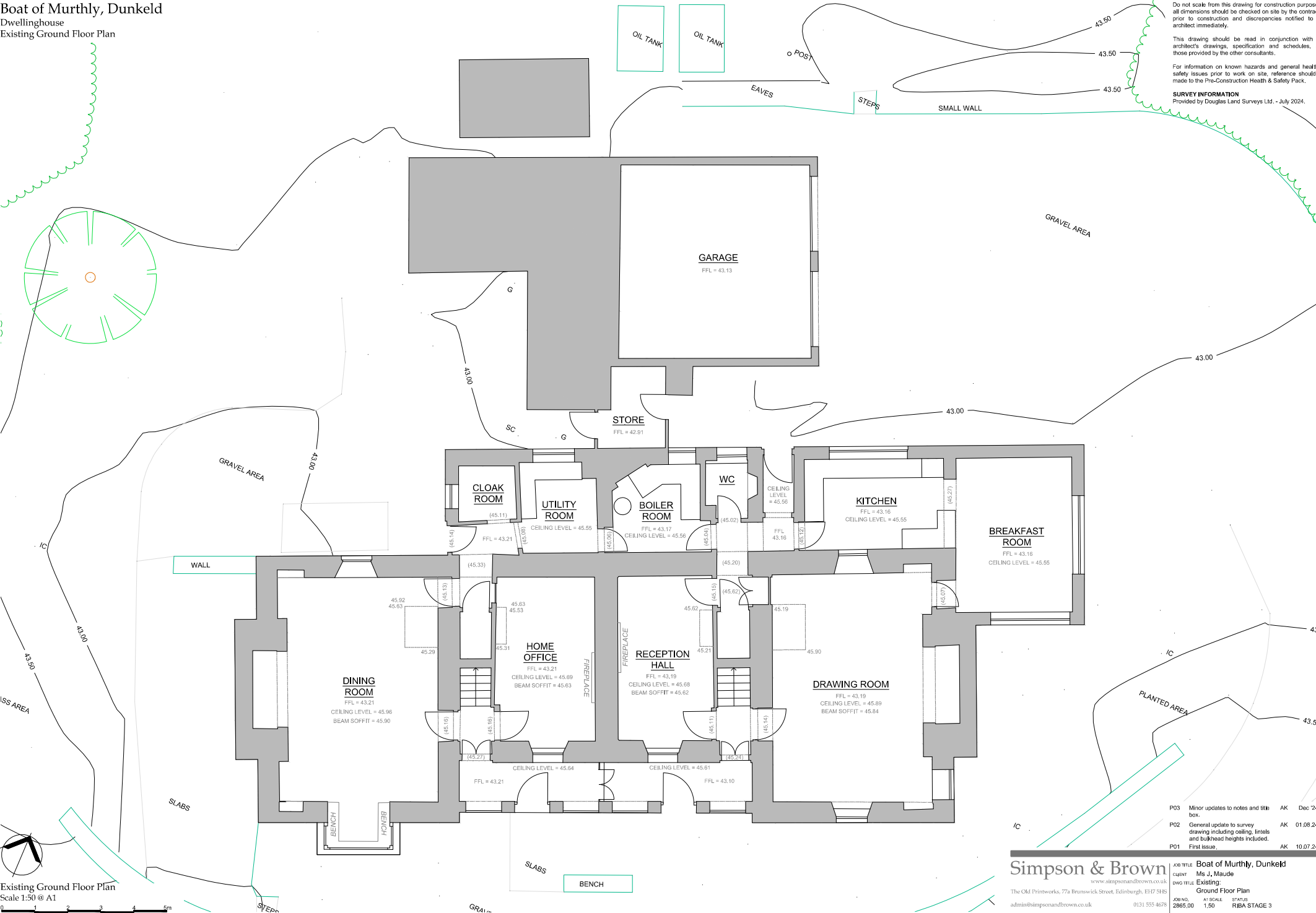
Archaeology

Head Office : The Old Printworks, 77a Brunswick Street, Edinburgh, EH7 5HS |

London Office: 70 Cowcross Street, London, EC1M 6EJ

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Boat of Murthly, Dunkeld
Dwellinghouse
Existing Ground Floor Plan



Existing Ground Floor Plan
Scale 1:50 @ A1

P03	Minor updates to notes and title box.	AK	Dec '24
P02	General update to survey drawing including ceiling, lintels and bulkhead heights included.	AK	01.08.24
P01	First Issue.	AK	10.07.24

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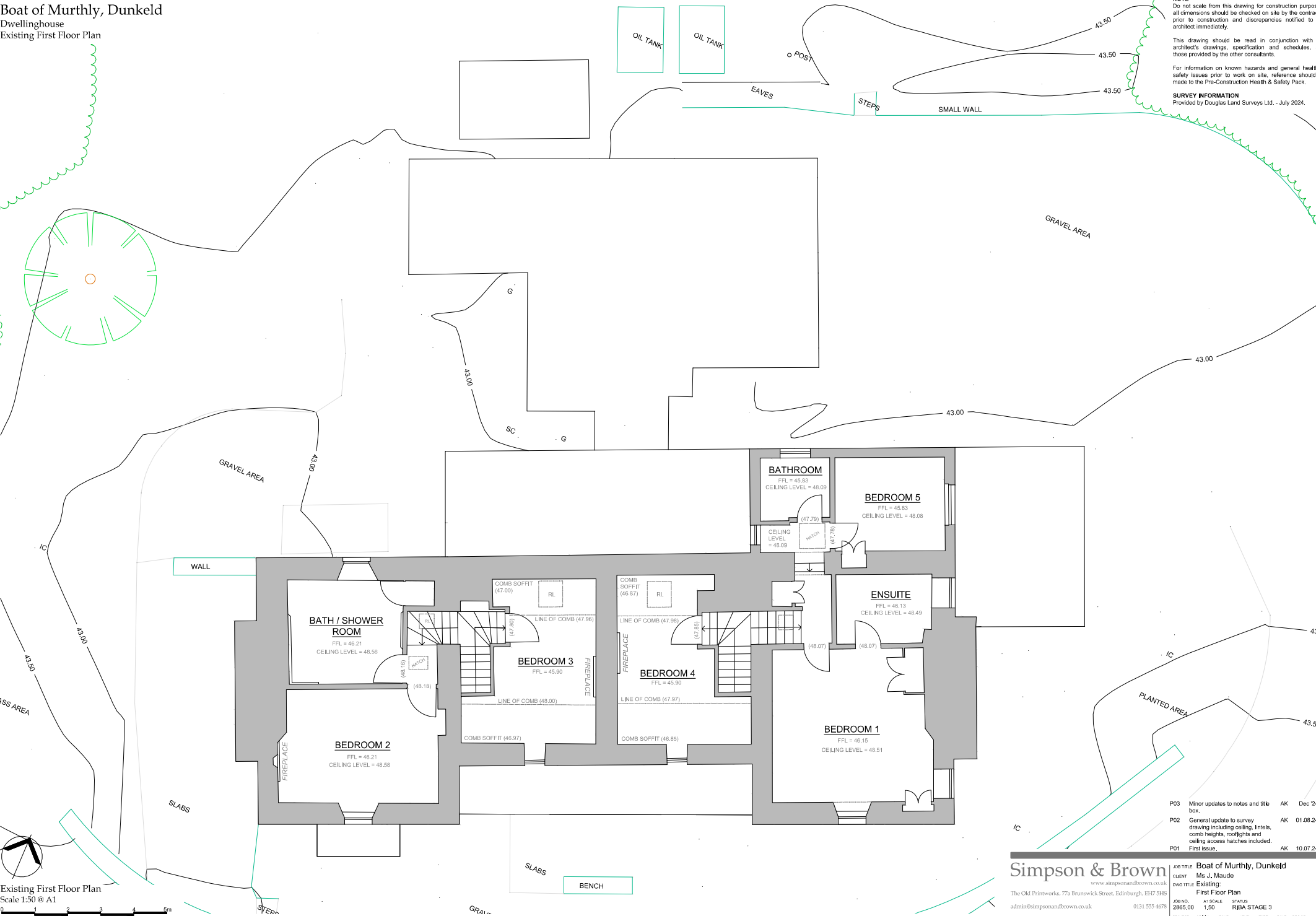
Job Title: Boat of Murthly, Dunkeld
Client: Ms J. Maude
DWG Title: Existing Ground Floor Plan

Job No.: 2865_00
As Scale: 1:50
Status: RIBA STAGE 3

Project: BOM - SAB - DH - 00 - SU - A - D101 P03

Architecture Heritage Consultancy Archaeology

Boat of Murthly, Dunkeld
Dwellinghouse
Existing First Floor Plan



NOTE
Do not scale from this drawing for construction purposes, all dimensions should be checked on site by the contractor prior to construction and discrepancies notified to the architect immediately.
This drawing should be read in conjunction with the architect's drawings, specification and schedules, and those provided by the other consultants.
For information on known hazards and general health & safety issues prior to work on site, reference should be made to the Pre-Construction Health & Safety Pack.
SURVEY INFORMATION
Provided by Douglas Land Surveys Ltd. - July 2024.

P03	Minor updates to notes and title box.	AK	Dec '24
P02	General update to survey drawing including ceiling, limits, comb heights, rooflights and ceiling access hatches included.	AK	01.08.24
P01	First issue.	AK	10.07.24

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Job Title

Client

DWG Title

Job No.

Project

Architecture

Boat of Murthly, Dunkeld

Ms J. Maude

Existing:

2865.00

BOM - SAB - DH - 01 - SU - A - 0102

P03

As Scale

1:50

RIBA Stage 3

First Floor Plan

Job No.

Project

Architecture

Heritage Consultancy

Archaeology

Job Title

Client

DWG Title

Job No.

Project

Architecture

Boat of Murthly, Dunkeld

Ms J. Maude

Existing:

2865.00

BOM - SAB - DH - 01 - SU - A - 0102

P03

Boat of Murthly, Dunkeld
Dwellinghouse:
Existing Elevations

NOTE
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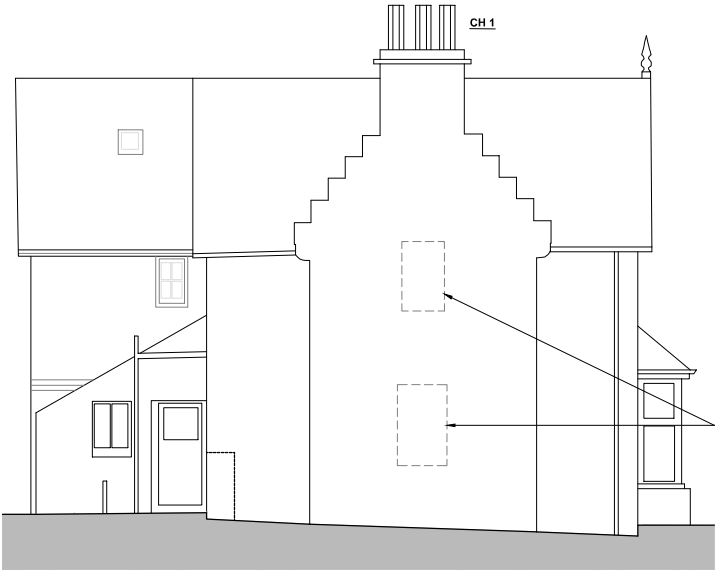
SURVEY INFORMATION
Provided by Douglas Land Surveys Ltd. - July 2024.



Existing South Elevation
Scale 1:50 @ A1



Existing East Elevation
Scale 1:50 @ A1



Existing West Elevation
Scale 1:50 @ A1



Masonry Recess
Indicative size and position, vegetation at time of survey too dense to record.

P04	Chimney references included.	AK	Mar '25
P03	Minor updates to notes and title box.	AK	Dec '24
P02	General updates to survey information.	AK	01.08.24
P01	First Issue.	AK	10.07.24

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Boat of Murthly, Dunkeld
Dwellinghouse:
Existing South, East & West Elevations

JOB NO. 2865_00

AS SCALE 1:50

STATUS RBA STAGE 3

PROJECT ORIGIN ZONE LEVEL TYPE ROLE DRG NO. REV

BOM - SAB - DH - XX - SU - A - 0201 P04

Architecture Heritage Consultancy Archaeology

Existing Elevations
Scale 1:50 @ A1



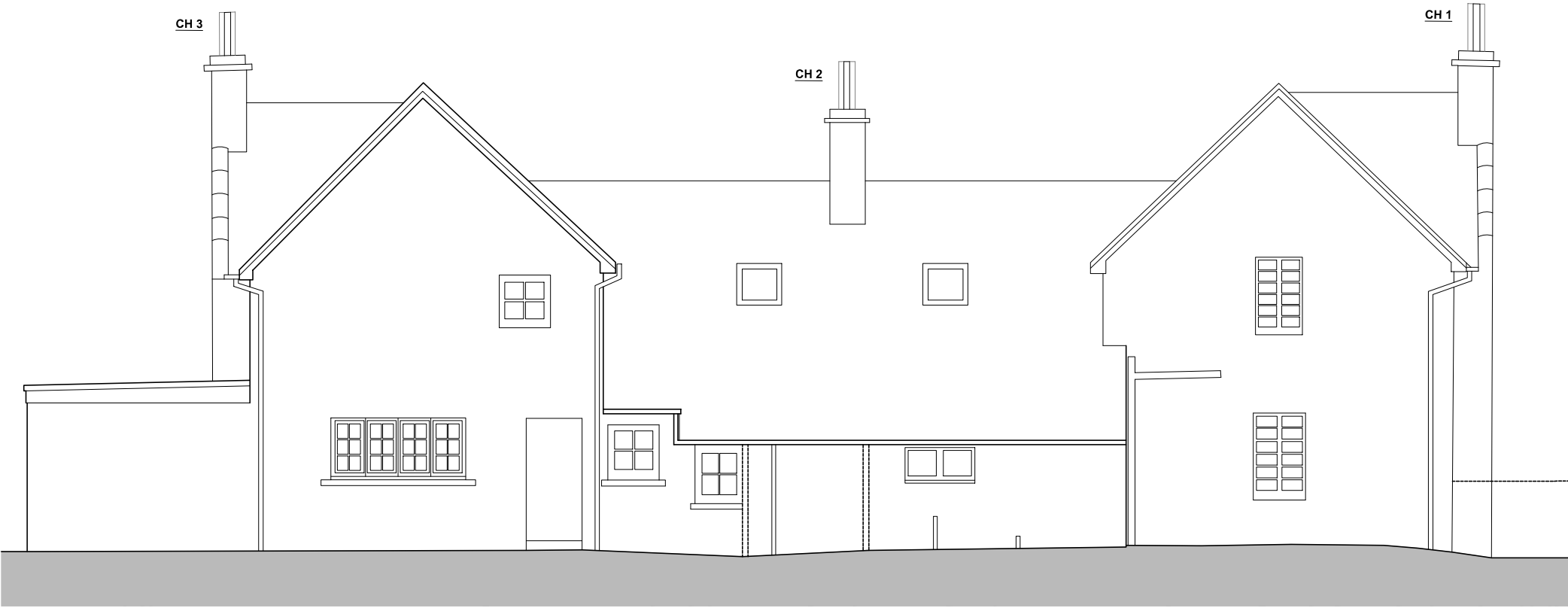
Boat of Murthly, Dunkeld
Dwellinghouse:
Existing Elevations

NOTE
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SURVEY INFORMATION
Provided by Douglas Land Surveys Ltd. - July 2024.



Existing North Elevation
Scale 1:50 @ A2



P04	Chimney references included.	AK	Mar '25
P03	Minor updates to notes and title box.	AK	Dec '24
P02	General updates to survey information.	AK	01.08.24
P01	First issue.	AK	10.07.24

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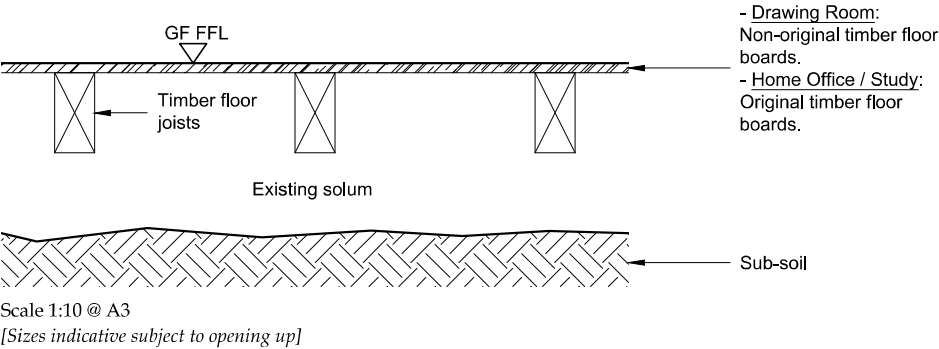
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Architecture Heritage Consultancy Archaeology

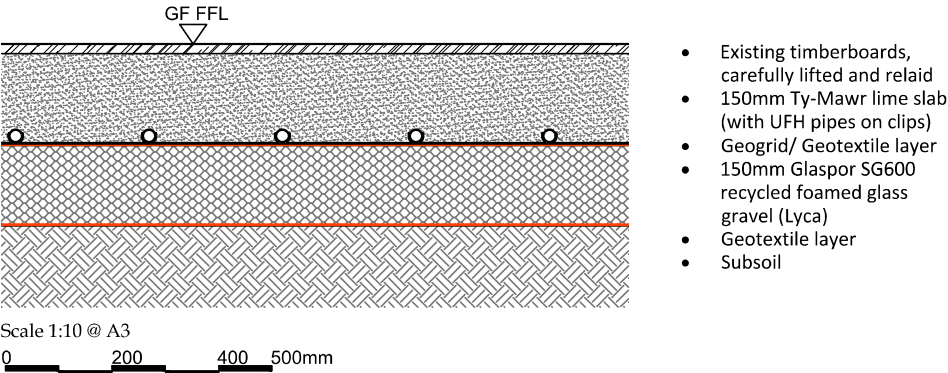
JOB TITLE	Boat of Murthly, Dunkeld				
CLIENT	Ms J. Maude				
DWG TITLE	Dwellinghouse: Existing North Elevation				
JOB NO.	A2 SCALE	STATUS			
2865,00	1,50	RIBA STAGE 3			
PROJECT	ORIGIN	ZONE	LEVEL	TYPE	ROLE
BOM	SAB	DH	XX	SU	A
DRG NO.	REV				
0202	P04				

Boat of Murthly, Dunkeld
Ground Floor Details
As Existing and Proposed

Former West Cottage Existing Ground Floor Details:
[Proposed Drawing Room & Home Office / Study]



Former West Cottage Proposed Ground Floor Details:
[Proposed Drawing Room & Home Office / Study]

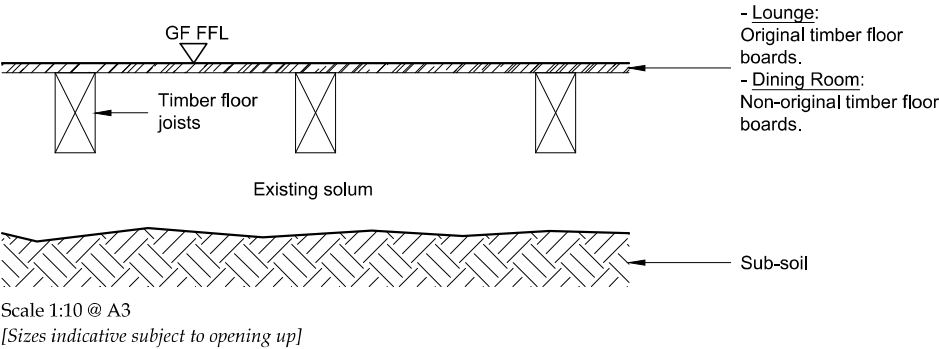


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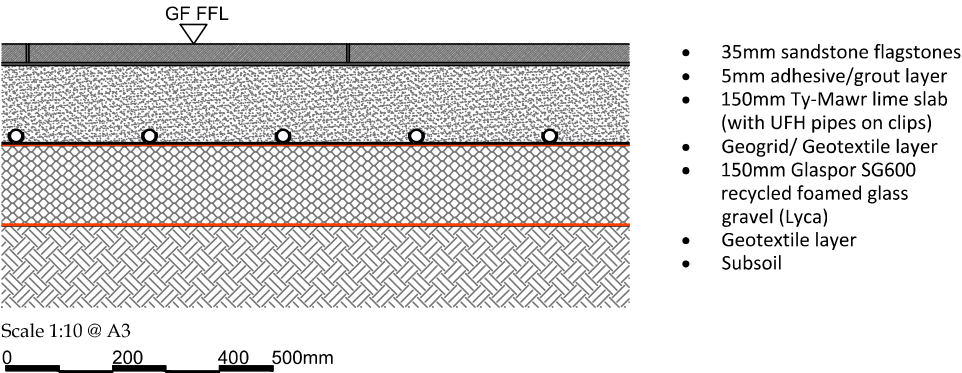
This drawing should be read in conjunction with the architect's drawings, specification and schedules, and those provided by the other consultants.

For information on known hazards and general health & safety issues prior to work on site, reference should be made to the Pre-Construction Health & Safety Pack.

Former East Cottage Existing Ground Floor Details:
[Proposed Lounge & Dining Room]



Former East Cottage Proposed Ground Floor Details:
[Proposed Lounge & Dining Room]



P01First issue.AK20.05.25

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ArchitectureHeritage ConsultancyArchaeology

JOB TITLE

CLIENT

DWG TITLE

Boat of Murthly, Dunkeld

Ms J. Maude

Ground Floor Details

As Existing and Proposed

JOB NO.

A3 SCALE

STATUS

2865.00

1.10

RIBA STAGE 3

PROJECT

ORIGIN

ZONE

LEVEL

TYPE

ROLE

DWG NO.

REV

BOM

-

SAB

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00

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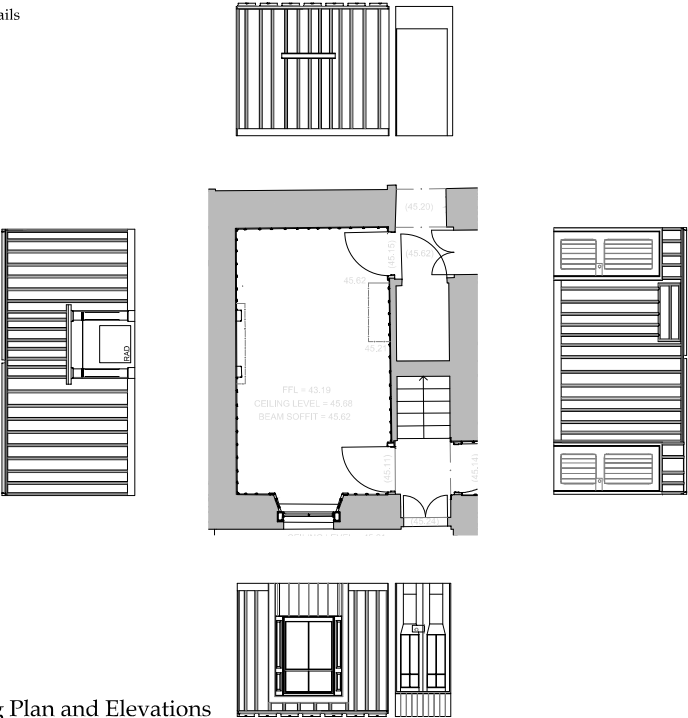
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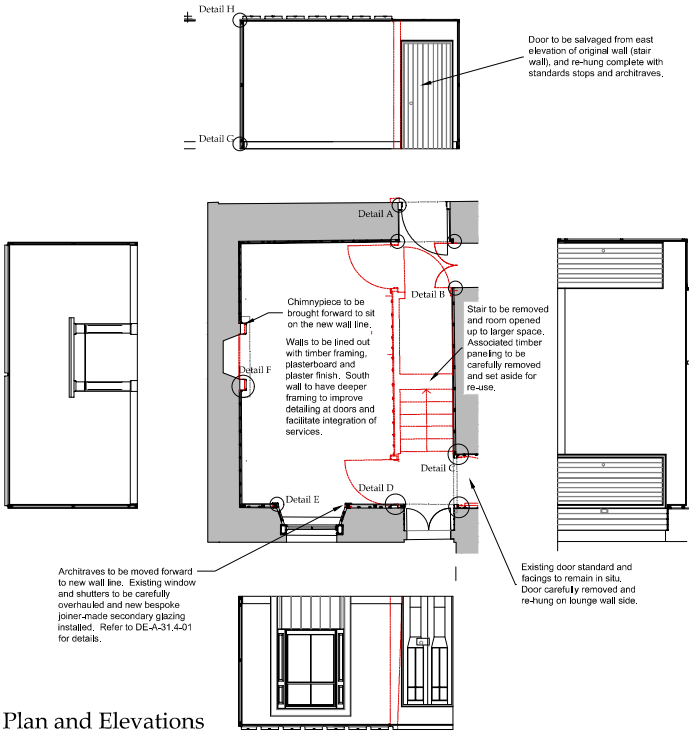
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P01

Boat of Murthly, Dunkeld
Dwellinghouse
Dining Room Layout and Details
As Existing and Proposed

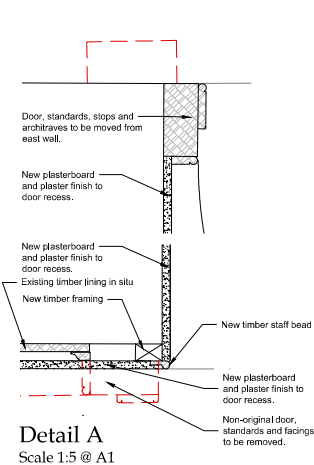


Existing Plan and Elevations

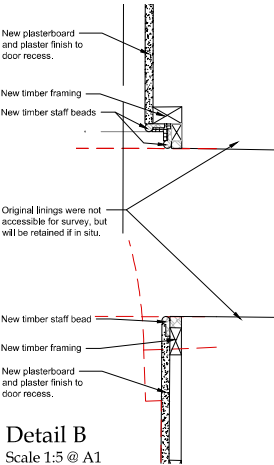


Proposed Plan and Elevations

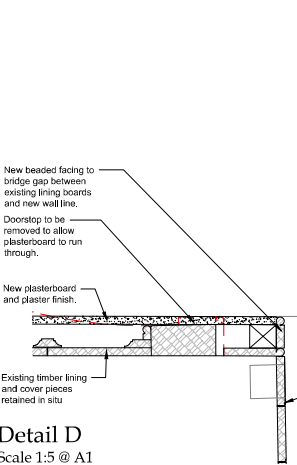
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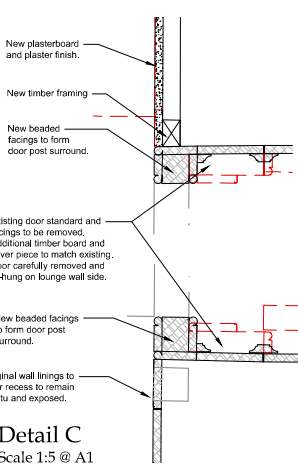
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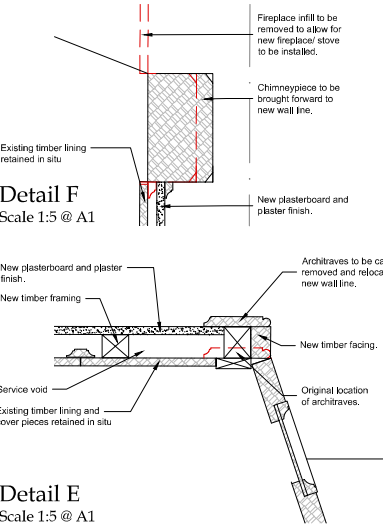
Detail B
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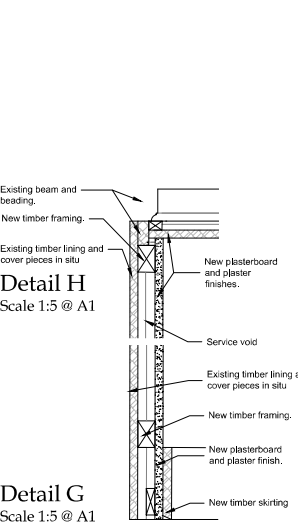
Detail D
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Detail C
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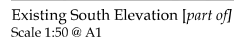
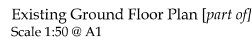


Detail E
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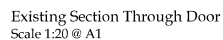


Detail H
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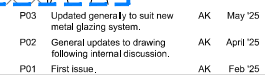
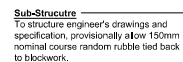
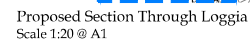
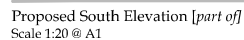
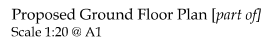
NOTE
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SURVEY INFORMATION
Provided by Douglas Land Surveys Ltd. - July 2024.



0 100 200 300 400 500mm



Existing Section Through Window
Scale 1:20 @ A1



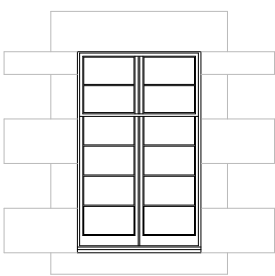
adrian@simpsonandbrown.co.uk 0151 555 4678

PROJECT	CATEGORY	TYPE	LEADS	TYPE	ROLE	PROG MO	RE
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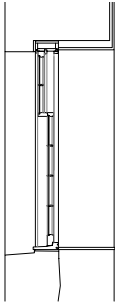
Boat of Murthly, Dunkeld
Window Type Details,
As Existing and Proposed

Window Type 1

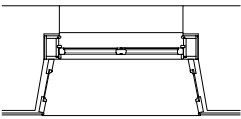
North Elevation - West Wing, Ground and First Floor



Elevation as Existing
Scale 1:20 @ A1



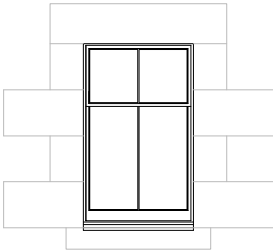
Section as Existing
Scale 1:20 @ A1



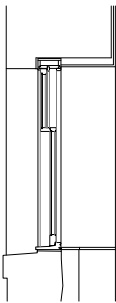
Plan as Existing
Scale 1:20 @ A1

Window Type 2

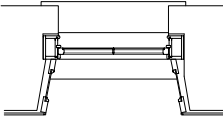
South Elevation, East and West Wing - First Floor



Elevation as Existing
Scale 1:20 @ A1



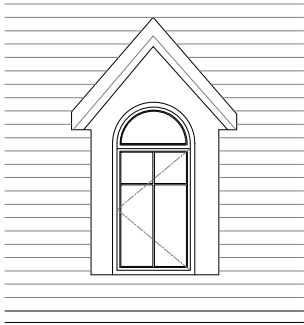
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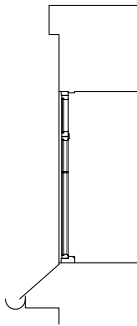
Plan as Existing
Scale 1:20 @ A1

Window Type 3

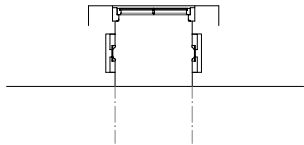
South Elevation - Dormer Windows



Elevation as Existing
Scale 1:20 @ A1

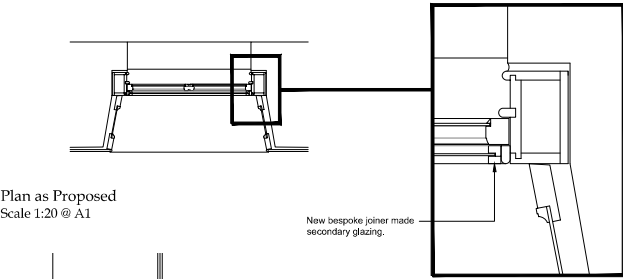


Section as Existing
Scale 1:20 @ A1

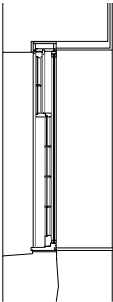


Plan as Existing
Scale 1:20 @ A1

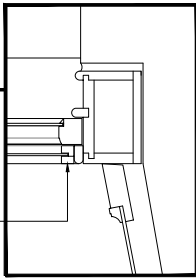
Section as Existing
Scale 1:20 @ A1



Plan as Proposed
Scale 1:20 @ A1



Section as Proposed
Scale 1:20 @ A1

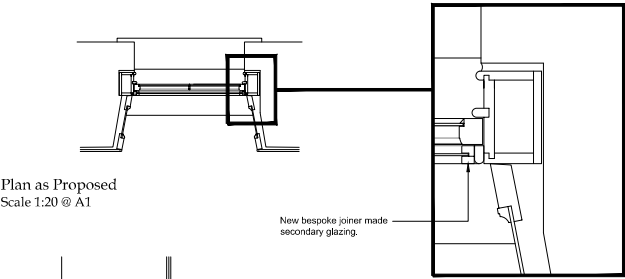


Proposed Window Jamb Detail
Scale 1:5 @ A1

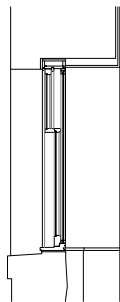
Overhaul All Existing Timber Windows:

1. Cut out and renew rotten or defective timber.
2. Where applicable, renew sash cords with waxed cotton cord.
3. Adjust weights as necessary.
4. Rake out beneath cill and form a drip as necessary.
5. Broken panes of glass to be replaced with reclaimed or reproduction crown glass.
6. Hack off defective putty and review.
7. Generally, ease and adjust and leave all windows running smoothly.
8. Rake out and renew all sand and linseed oil mastic pointing to allow windows.

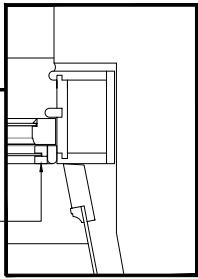
Repairs to be carried out in accordance with the SPAB Technical Advice Note-Repair of Wood Windows.



Plan as Proposed
Scale 1:20 @ A1

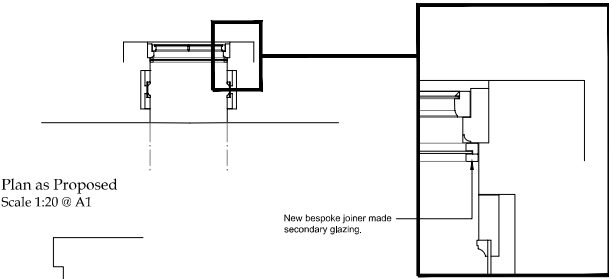


Section as Proposed
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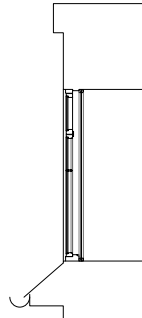


Proposed Window Jamb Detail
Scale 1:5 @ A1

New bespoke joiner made
secondary glazing.

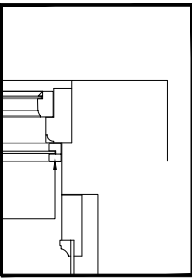


Plan as Proposed
Scale 1:20 @ A1



Section as Existing
Scale 1:20 @ A1

New bespoke joiner made
secondary glazing.



Proposed Window Jamb Detail
Scale 1:5 @ A1

Scale 1:5 @ A1
0 100 200 300 400 500mm

Scale 1:20 @ A1
0 0.25 0.5 1m

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JOB TITLE	Boat of Murthly, Dunkeld
CLIENT	Ms J. Maude
DWG TITLE	Window Type Details
AS SCALE	As Existing and Proposed
JOB NO.	2865_00
VARIES	RBA STAGE 3
PROJECT	URBAN
ZONE	XX
LEVEL	XX
TYPE	DE
ROLE	A
DWG NO.	-31.4-01
REV	P01

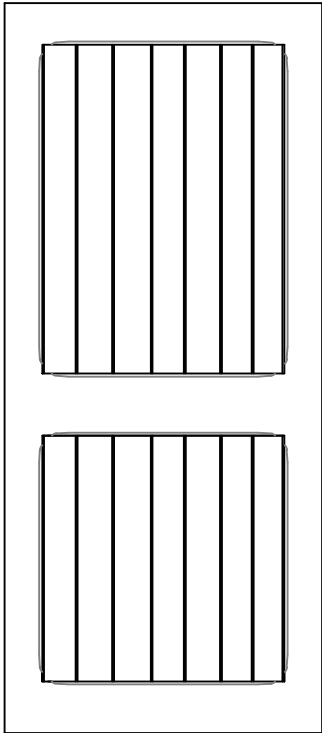
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Boat of Murthly, Dunkeld
Door Details
As Existing and Proposed

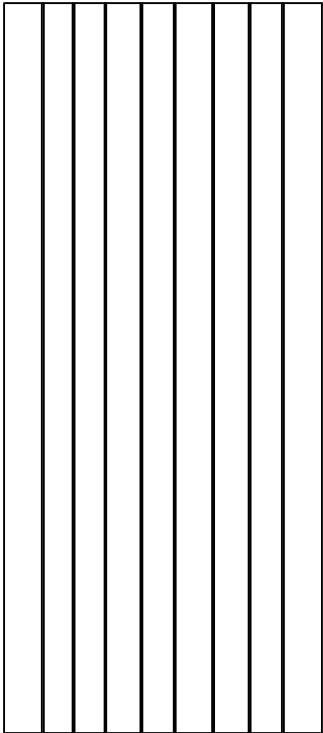
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0 0.25 0.5 1m



Back of Door



Section



Front of Door



Plan

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P01 First issue. AK Dec '24

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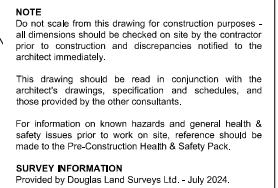
0131 555 4678

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JOB TITLE Boat of Murthly, Dunkeld
CLIENT Ms J. Maude
DWG TITLE Door Details
As Existing and Proposed

JOB NO. A4 SCALE STATUS
2865.00 1.20 RIBA STAGE 3

PROJECT	ORIGIN	ZONE	LEVEL	TYPE	ROLE	DRG NO.	REV					
BOM	-	SAB	-	XX	-	XX	-	DE	-	A	-31.5-01	P01



 Site Boundary

Existing Dwellinghouse: 205.9m²
Existing Double Garaging & Ancillary Accommodation: 77.1m²
Existing 1970s Extension: 39.2m²
Existing Timber Bay Window: 2.4m²

Total: 324.6m²
[excluding smaller sheds / summer house]

Existing Double Garaging & Ancillary Accommodation: 77.1m²
Existing 1970s Extension: 39.2m²
Existing Timber Bay Window: 2.4m²

Total: 118.7m²
[excluding smaller sheds / summer house]

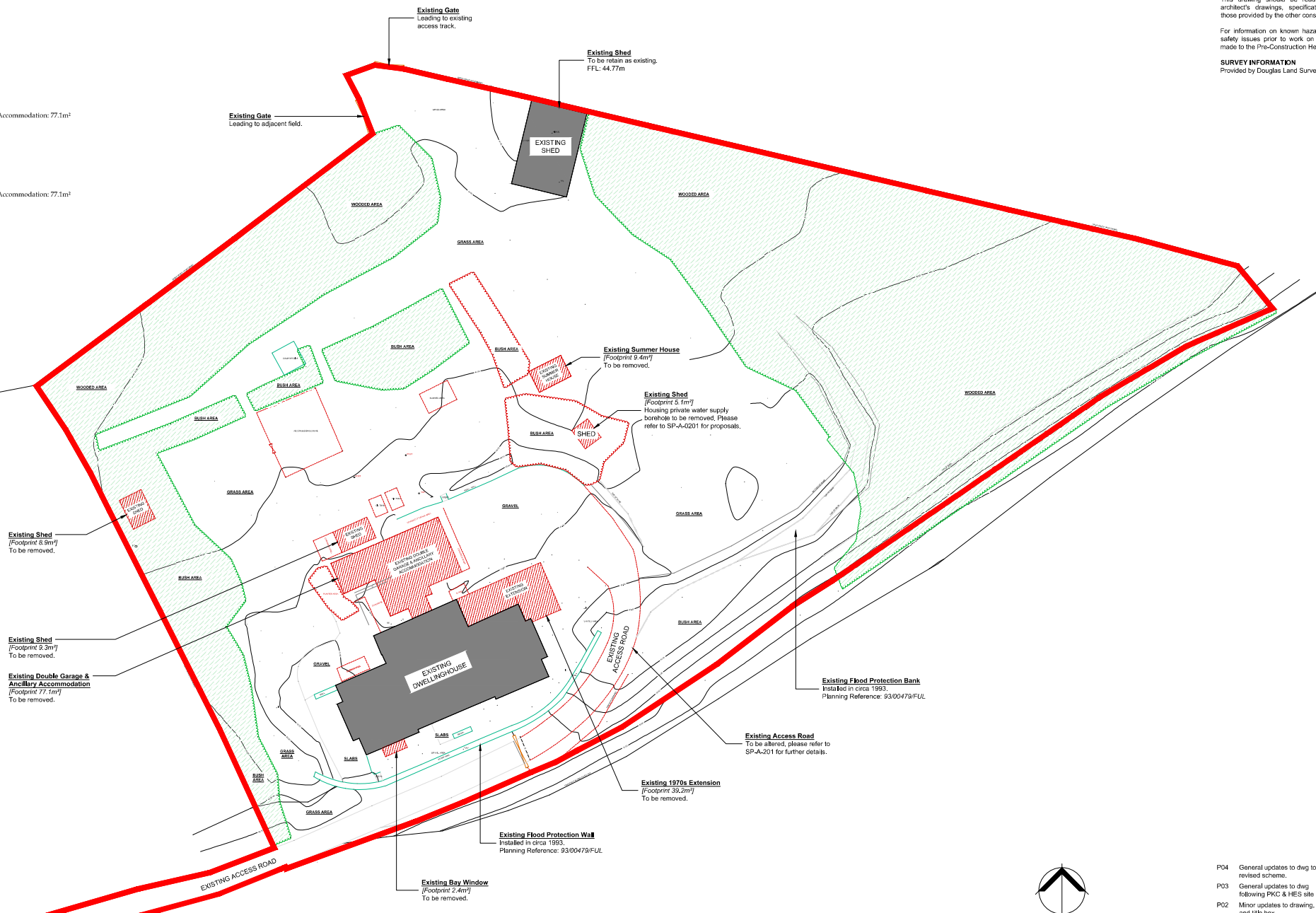
NOTE
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Existing Site Plan
Scale 1:200 @ A1



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0131 335 4678

Archaeology

P04	General updates to dwg to suit revised scheme.	AK	14.05.25
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P03	General updates to dwg following PKC & HES site mtg	AK	Mar '25
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P02	Minor updates to drawing, notes and title box	AK	Dec '24
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P01	First issue.	AK	27.11.24
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JOB TITLE Boat of Murthy, Dunkeld

CLIENT Ms J. Maude
DWG TITLE Dwellinghouse:

Existing Site Plan [with downtakings]		
JOB NO.	A1 SCALE	STATUS

4678	JOB NO.	AT GROUND	STATUS				
	2865.00	1,200	RIBA STAGE 3				
	PROJECT	ORIGIN	ZONE	LEVEL	TYPE	ROLE	DRG NO.

logy	BOM	-	SAB	-	DH	-	XX	-	SP	-	A	-	0101	PI
------	-----	---	-----	---	----	---	----	---	----	---	---	---	------	----

Boat of Murthly, Dunkeld
Dwellinghouse: Existing Site Plan

KEY
Site Boundary



NOTE
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SURVEY INFORMATION
Provided by Douglas Land Surveys Ltd. - July 2024.

Existing Site Plan
Scale 1:200 @ A1



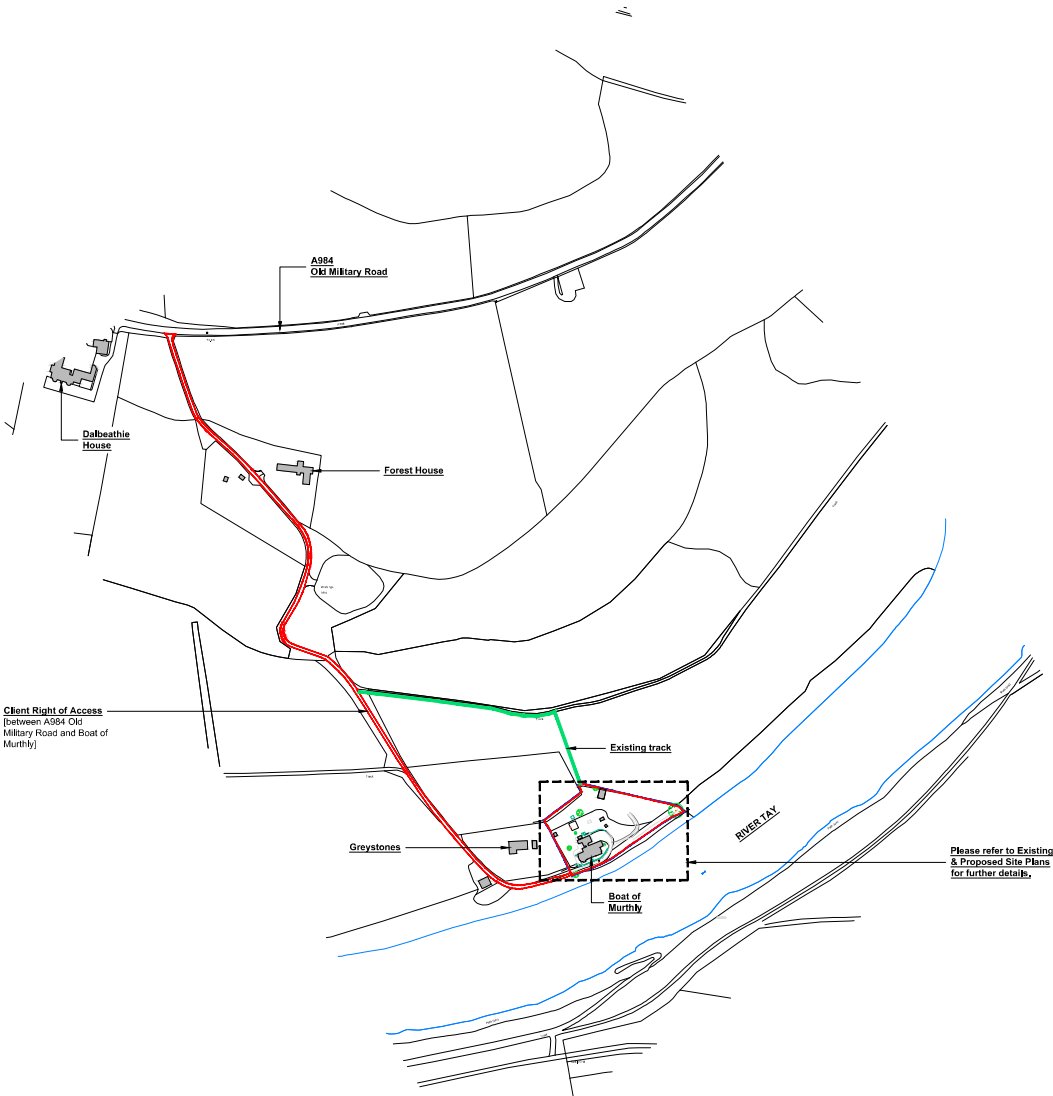
Boat of Murthly, Dunkeld
Dwellinghouse: Location Plan

KEY
Ownership Boundary
Site Boundary



Rural Location Plan
Scale 1:25,000 @ A1
© Open Street Maps

Application Site
The Boat of Murthly
DUNKELD
PHS QJA



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Location Plan
Scale 1:2500 @ A1

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P03	Minor updates to drawing for re-submission.	AK	14.05.25
P02	Existing access track to north of site shown.	AK	Mar '25
P01	First Issue.	AK	Dec' 24

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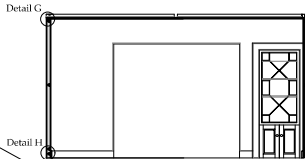
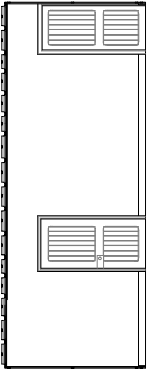
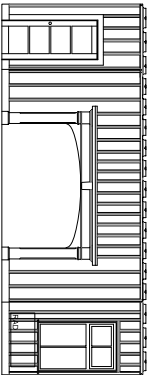
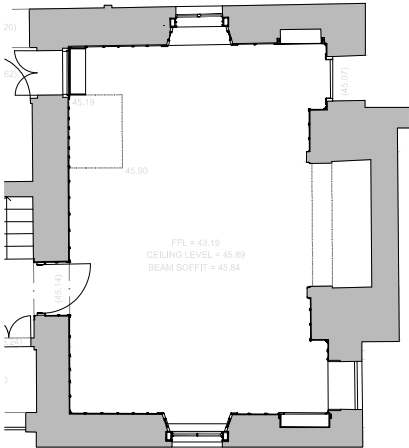
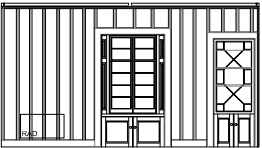
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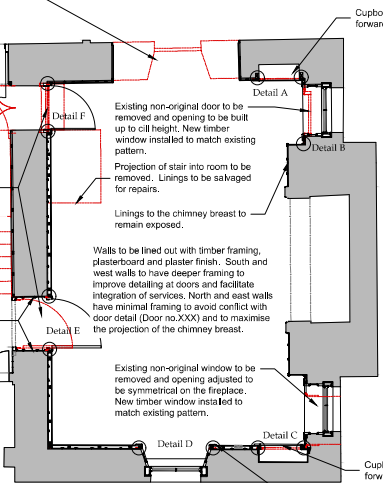
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JOB TITLE	Boat of Murthly, Dunkeld
CLIENT	Ms J. Maude
DWG TITLE	Dwellinghouse: Location Plans
JOB NO.	2865_00
AN SCALE	Varies
STATUS	RBA STAGE 3
PROJECT	BOM - SAB - DH - XX - LP - A - D101
REV	P03

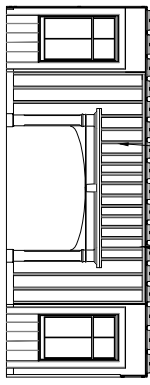
Boat of Murthly, Dunkeld
Dwellinghouse
Lounge Room Layout and Details
As Existing and Proposed



Existing window to be removed. Shutters, architraves and surrounding paneling to be carefully removed and installed in re-installed window opening in the west cottage drawing room.



Cupboard door to be moved forward to new wall line.

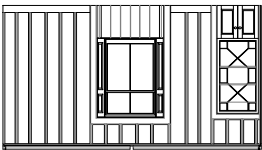


Existing timber linings around chimney breast to be retained, repaired as necessary and painted.
New timber beaded facing to underside of new ceiling to match existing detailing.

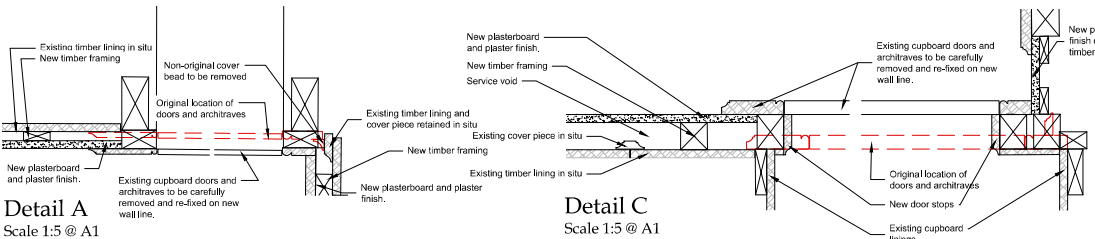
Existing Plan and Elevations

Proposed Plan and Elevations

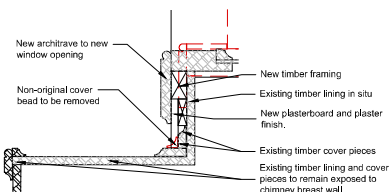
Scale 1:50 @ A1
Scale:
0 1 2 3 4 5 6m



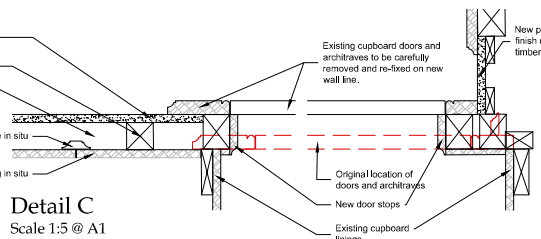
Architraves to be moved forward to new wall line. Existing window and shutters to be carefully overhauled and new bespoke join-made secondary glazing installed. Refer to DE-A-31.4-01 for details.



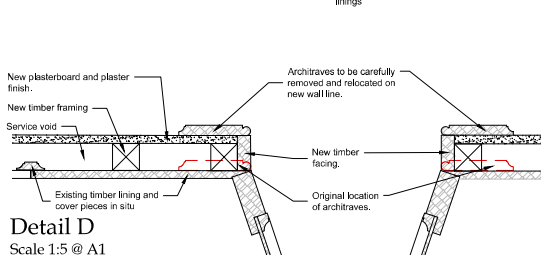
Detail A
Scale 1:5 @ A1



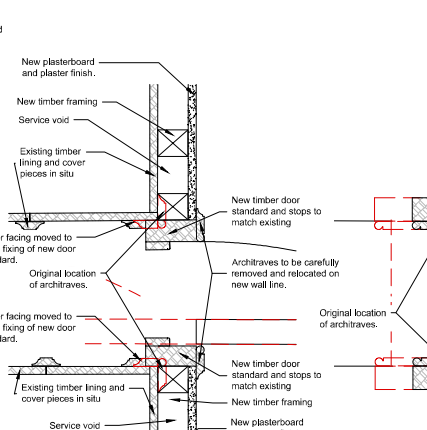
Detail B
Scale 1:5 @ A1



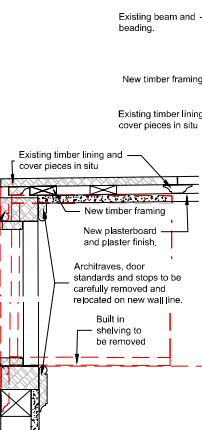
Detail C
Scale 1:5 @ A1



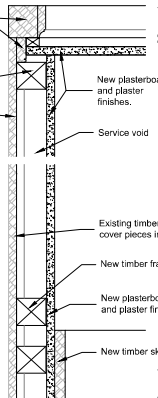
Detail D
Scale 1:5 @ A1



Detail E
Scale 1:5 @ A1



Detail F
Scale 1:5 @ A1



Detail G
Scale 1:5 @ A1



Detail H
Scale 1:5 @ A1

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SURVEY INFORMATION
Provided by Douglas Land Surveys Ltd. - July 2024.

Boat of Murthly, Dunkeld

Heritage Statement

May, 2025

Simpson & Brown



Boat of Murthly

Dunkeld, Perth & Kinross

HERITAGE STATEMENT

Report Prepared by

Simpson & Brown

Christian Clarkson MA MPhil PhD FSA (Scot)

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<i>Checked/approved</i>	<i>NJU</i>
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Simpson & Brown

Architecture Heritage Consultancy Archaeology

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1.0 INTRODUCTION

1.1 Purpose of the heritage statement

This heritage statement has been produced in support of an application for listed building consent for the house at Boat of Murthly, Dunkeld, Perth & Kinross. The application is for a proposed rear extension and internal alterations.

The purpose of this heritage statement is to determine the extent and acceptability of the cultural heritage impacts of the proposals on Boat of Murthly. In order to do this, this document:

- sets out the principal sources of cultural heritage significance and the special architectural or historic interest of the house;
- outlines the scope and nature of the proposed works;
- considers how the proposed works will impact on the significance of the heritage asset;
- concludes with a balanced assessment of the extent and acceptability of the proposals in the light of their benefits and cultural heritage impacts.

1.2 Approach and methodology

The findings presented here are based on two main research strands. The first consists of documentary research in primary and secondary sources. Boat of Murthly was originally a pair of nineteenth-century estate cottages, latterly converted into one house. Due to the humble nature of the building, as well as its rural location, there were relatively few primary sources relating to the building which could be discovered. Sources searched included Perth & Kinross archives (including a commissioned search of uncatalogued later twentieth century planning records), the National Records and National Library of Scotland, HES archives, and archived archaeological grey literature, as well as extensive searches in historic newspaper archives. While the findings were not extensive, the searches were very thorough and more is now known about this building than at any previous time.

The second research strand consists of site visits, which were carried out by a survey team from Simpson & Brown. During the visits, the fabric of the building was analysed, and reference photography taken.

A robust synthesis of relevant information from both the documentary research and the site visits is set out in the historical account in section 1.0 below. It provides the foundation for a comprehensive assessment of cultural-heritage significance. Significance has been assessed in accordance with internationally recognised conservation principles, considering significance from different points of view to reach the most objective and balanced judgement reasonably possible as set out by James Semple Kerr in *The conservation plan*.¹

Aspects of the significance of the site were presented to the client and used to inform and shape elements of the emerging design. In some cases, the advice will have mitigated

¹ See ICOMOS Australia, *The conservation plan: a guide to the preparation of conservation plans for places of European cultural significance* by Kerr, J.S. (7th edition: 2013).

impacts in cultural heritage assets by avoidance, but in others a strategy was developed to offset or mitigate impacts.

The methodology followed is based on that set out in James Kerr's *Guide to the preparation of conservation plans for places of European cultural significance* (2013) adapted to the context of the relevant Scottish statutory legislation contained in the Planning (Listed Buildings and Conservation Areas) (Scotland) Act 1997, namely the special architectural and historic interest of listed buildings and conservation areas. It is also adapted to the context of the Ancient Monuments and Archaeological Areas Act 1979.

This heritage statement has also been developed in line with the following:

- National planning policy: *National Planning Framework 4* (2023)
- National heritage policy and guidance published by Historic Environment Scotland:
 - o *Historic Environment Policy for Scotland* (2019);
 - o *Designation Policy and Selection Guidance* (2019);
 - o *Managing Change in the Historic Environment* guidance note series (2019-).

Specific references to national and local policy and guidance are made in section 1.5 of this document.

The descriptive impact assessment in this document has been used to inform an overarching assessment of heritage impact made using the methodology of environment impact assessment (EIA). This methodology is in alignment with guidance provided in HES's Historic Environment Policy for Scotland (HEPS) and UNESCO's *Guidance and toolkit for impact assessments in a World Heritage context* (2022). Although the site is not located within a world heritage site, this guidance has been consulted as best practice for conducting impact assessments.

1.3 Nature of the proposals

The proposals are for alterations to Boat of Murthly. An existing garage and workshop extension on the north (rear) side of the house will be removed, as well as a 1970s extension on the east side of the north elevation. A new extension will be constructed on the east and central sides of the north elevation, leaving the west side free. The roof of the existing lean-to at the rear of the building will be removed, although its walls will be retained in the new stair hall; the new extension will feature a new sweeping lean-to roof in a similar style to existing. The extension will be of two storeys, although with a ridge height lower than the historic building, and will be in a traditional style which complements the historic fabric at Boat of Murthly.

A series of changes will also be undertaken to improve the appearance, and enhance the special interest, of the principal elevation to the south. These will include the replacement of the existing non-historic loggia glazing, the removal of a twentieth-century bay window, and the replacement of historic features such as impost blocks in the loggia arcade and finials on the bargeboards. Other works to the exterior will include the replacement of some windows, and of inappropriate uPVC rainwater goods.

Internally, two slappings will be made in original fabric at the rear of the building, including the replacement of an existing window with an opening to the new extension. The window-joinery will be re-used in the replacement of the bay window on the south elevation. Interior panelling will be retained, but will be covered over in some places; one

existing stair will be removed. Floors in the east cottage will be taken up and re-sited to protect them from flooding.

This heritage statement should be read in conjunction with the following documents and drawings:

- Design, access, and planning statement
- Schedule of proposed works
- Flood risk assessment
- Drawings listed within *BOM-SAB-XX-XX-DI-A-0001 - Drawing Issue Sheet*

1.4 Designations of heritage assets

Boat of Murthly is listed in Category B. There are no other designated heritage assets in the vicinity which are relevant to this application.

1.5 National and local policy and guidance

1.5.1 Planning (Listed Buildings and Conservation Areas) (Scotland) Act 1997

Alterations to listed buildings are subject to statutory controls under the Planning (Listed Buildings and Conservation Areas) Scotland) Act 1997. This requires that owners must obtain approval, known as Listed Building Consent (LBC) from the Local Planning Authority before commencing any works that may impact on the building's 'special character'.

1.5.2 National Planning Framework (NPF4, 2023)

NPF4 sets out national planning policies which reflect Scottish Ministers' priorities for the operation of the planning system and for the future development of Scotland. NPF4 promotes consistency in the application of the statutory planning processes across Scotland whilst allowing sufficient flexibility to reflect local circumstances. NPF4 prioritises tackling the climate and nature crises (policy 1), which will be given 'significant weight' when considering all development proposals.²

NPF4 includes the Scottish Government's national planning policy on the conservation of the historic environment. The policies relevant to historic assets and places are policy 7, sections a-o.

The stated intent of policy 7 is to protect and enhance the historic environment and 'enable positive change as a catalyst for the regeneration of places.' The outcomes of the policy are intended to ensure the historic environment is 'value and protected' and to support the transition to net zero. It also looks to bring redundant or neglected historic buildings into sustainable and productive uses, whilst recognising the 'social, environmental and economic value of the historic environment.'

In summary:

² 'Tackling the climate and nature crises: policy 1', *National Planning Framework 4*, p.36.

- Policy 7a explicitly recognises an informed approach to conservation, and states that development proposals with the potential for significant impacts on historic places should be accompanied by an assessment of the place’s significance.
- Policy 7c deals specifically with listed buildings. Where an application for planning permission and/or Listed Building Consent affects a listed building, the policy places a duty on LPAs to protect their ‘character, special architectural or historic interest and setting.’

NPF4 forms part of the statutory ‘development plan’, alongside Local Development Plan (LDP) for an area at that time and its supplementary guidance.

1.5.3 Historic Environment Scotland policy and guidance

The *Historic Environment Policy for Scotland* (2019) is a policy statement by HES, which is supported by the *Managing change in the historic environment* guidance note series. These represent the heritage policy and guidance to which local planning authorities are directed when they are considering applications that affect heritage assets. This emphasises the importance of ensuring that decisions affecting the historic environment should be informed by ‘an inclusive understanding of its breadth and cultural significance’; and ensure that its ‘understanding and enjoyment as well as its benefits are secured for present and future generations’. Government plans, programmes, policies and strategies should ‘protect and promote the historic environment’; change should, wherever possible, enhance the historic environment; and the detrimental impacts of necessary changes should be minimised and mitigation measures put in place. The policy also emphasises the need to ensure that decisions relating to heritage assets have implications for people and communities, and that decision-making should be ‘collaborative, open, transparent and easy to understand’.

In addition, HES’s *Interim guidance on the principles of Listed Building Consent* (2019) contains guidance on how proposed changes to listed buildings should be considered by decision-makers, requirements to take into account the scale of their heritage impacts, the relative importance of the building being affected, the scope for alternative approaches, and whether there are significant economic benefits that would result from more extensive change than would otherwise be thought desirable.

This heritage statement is aligned with the requirements set out in HES’s policy and guidance.

1.5.4 Local development plan

Perth and Kinross Local Development Plan 2 was adopted in November 2019. The plan states that it ‘is the council’s statutory corporate document that guides all future development and use of the land’, with the aim of working towards the council’s *Vision for Perth and Kinross*.³

With regards to listed buildings, policy 27A states that

³ Perth and Kinross Council, *Perth and Kinross Local Development Plan 2*, 2019, p.7. The full local development plan can be viewed here: https://www.pkc.gov.uk/media/45242/Adopted-Local-Development-Plan-2019/pdf/LDP_2_2019_Adopted_Interactive.pdf?m=1576667143577 (accessed 11.03.2025).

There is presumption in favour of the retention and sympathetic restoration, correct maintenance and sensitive management of listed buildings to enable them to remain in active use, and any proposed alterations or adaptations to help sustain or enhance a building's beneficial use should not adversely affect its special architectural or historic interest.⁴

The policy also stresses the importance of energy efficiency.

⁴ Perth and Kinross Council, *Perth and Kinross Local Development Plan 2*, 2019, p.45.

2.0 UNDERSTANDING BOAT OF MURTHLY

The existing house at Boat of Murthly was built as a pair of cottages in the mid-nineteenth century, possibly replacing an earlier building. Prior to the construction of the Caputh bridge over the Tay in the late nineteenth century, a ferry boat at Boat of Murthly would have been used to access the northern parts of the estate. Murthly Castle was held by a branch of the Stewart family, of Grantully and Murthly, now the Steuart Fotheringhams, and some kind of residence at Boat of Murthly dates back at least to 1749, when a legal case was brought by a resident of Boat of Murthly regarding the destruction of his malt kiln.⁵

By chance in the late 1930s one of the cottages at Boat of Murthly was occupied by an Isabella Miller, Scotland's oldest woman of the time at 106 prior to her death in August of 1937. Miller was born at Boat of Murthly, in a predecessor cottage.⁶ As such, the existing building was likely erected between her birth c.1830, and the publication of the first accurately-surveyed map in 1866, the 25-inch OS map (**Figure 1**).

The cottages were likely built as part of a programme of 'improvement' across the estate, modernizing estate management usually with the aim of increasing revenue. They have a mirrored plan, with access in both cases to a hallway with a large sitting room and a smaller room off it, and stairs to bedrooms above. The projecting lean-to at the rear of the building appears on the early maps; it is probably original and would have contained a kitchen, laundry, or other utility space. The cottages are completed in a simple domestic style, with finialed bargeboards typical of this period on Scottish estates. The most unusual feature is the loggia on the principal elevation, stretching between the two end gables: this is relatively unusual and elevates the building above the vernacular. The twin nature of the cottages gave the building a highly symmetrical exterior appearance originally, now slightly altered by the addition of a single bay window. The date of the interiors, including chimneypieces and panelling, is unknown, but they are nineteenth century and the fact that they are mirrored in both houses suggests that they dates from the period of estate ownership. Some changes have been made to interior and joinery details, however, including alterations to the cupboard doors – which are not original – and to most of the windows.

The Miller family is recorded at Boat of Murthly in the 1841 census, with John Miller at home that day with children Janet, John, Alexander, and James.⁷ The other cottage appears to have been occupied by the Patton family, where John and Margaret Patton were accompanied by 10 children. The 1851 census is the first to record occupation, and lists John Miller as a fisherman; as well as ferrying where necessary, Miller would have lead fishing parties on the estate. An unmarried laundress, Janet Mitchel, is listed as living presumably in the other cottage.

By 1871 John Miller Snr had retired, as he was recorded in the census as 'formerly fisherman'; his son and namesake appears as 'salmon fisher'. This is the first year that Isabella Miller is recorded at the address, as 'general servt (domestic)', articles about her in later life mention that she spent some years in service in London when she was young.

⁵ Perth & Kinross archives, JP20/6/4/19/2.

⁶ *Edinburgh Evening News*, 04.09.1935.

⁷ Census data via *Findmypast*.

By 1881 John Miller Jnr is the head of the household, living with his mother and adult siblings James, Janet (widowed) and Isabella as well as two masons lodging in the house.

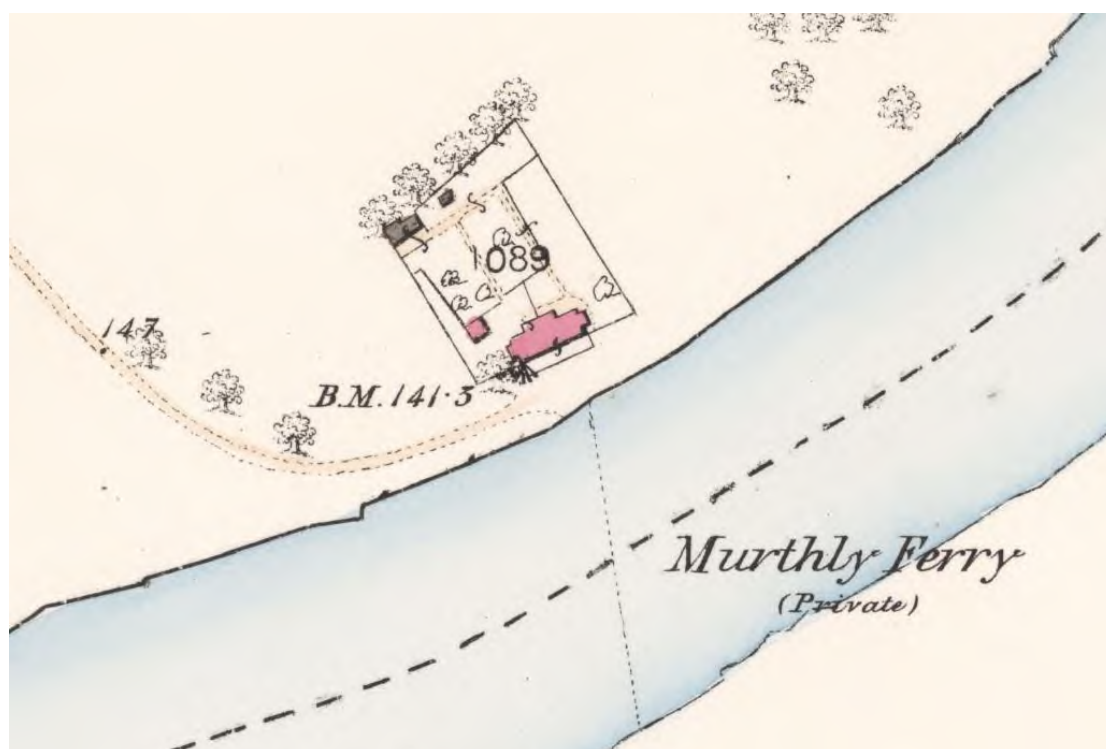


Figure 1 1866 OS 25-inch map showing the houses at Boat of Murthly

It was probably Miller Jnr who successfully defended his right to vote in 1879, on the grounds that he was a tenant of the Murthly estate rather than a servant.⁸ From 1881 to 1892 John Everett Millais rented nearby Birnam Hall and often participated in hunting and fishing parties on the Murthly estate, likely guided by Miller.⁹ Photographs taken by Millais include images of fishing parties, which may include Miller. It is likely to have been at some point in the later nineteenth century that windows were renewed across the cottages, with two-over-two sashes as opposed to the typically earlier laid panes surviving at the rear of the building, and the dormer windows may have been added at the same time.

A photograph exists of the cottages which likely dates from the late nineteenth or early twentieth century, taken from the south east across the river (**Figure 2**). The image shows the east flue wall with two blind windows (as still existing on the west end of the house) and shows the west cottage without its bay window. The dormer windows and glazing patterns appear otherwise as they are today, although the dormer bargeboards are shown with finials similar to those on the gables. It appears that prior to its glazing, the loggia arcade had imposts at the springing of the arches which have since been lost.

⁸ *Dundee Advertiser*, 27.09.1879.

⁹ <https://emuseum.aberdeencity.gov.uk/objects/10129/birnam-hall-from-an-album-compiled-by-sir-john-everett-mill> (accessed 12.12.2024).

Little is known about the houses in the first half of the twentieth century, except that one of the cottages was occupied by Isabella Miller and relatives until 1937. In 1939 an advertisement calls for 'middle aged woman wanted to assist maid at very quiet cottage in Dunkeld district, one lady ... apply Mrs Ferguson, Boat of Murthly.'¹⁰ OS maps show the house on essentially the same footprint until at least 1959, and in 1968 an 'attractive semi-detached cottage' is described for sale with 'five rooms, kitchen and bathroom.'¹¹



Figure 2 Late nineteenth or early twentieth century photograph of the house *Provided by applicant*

This sale is likely to have been that of the east cottage to Ltd Colonel Peter Castle-Smith, is whose name an application for planning permission was submitted in the following year.¹² Castle-Smith, who died in 2022 aged 99, was the recipient of the military cross for action in Sicily in 1943. The location plan for the application shows that the west cottage at that time was the property of 'Mr Carter'. The application is for the extension on the north-east side of the house, as well as for moving the site of the proposed garage, for which an application had already been approved in another location further to the east. Elevations show that the loggia had already been glazed and partially blocked at this date, at least on the east side. At ground floor level, this involved the addition of the existing kitchen and breakfast room: on the proposed plans these are shown as being accessible from both the north end and north-east corner of the lounge, although neither of these apparent slappings are marked as a change; this may simply be an omission as currently

¹⁰ *Perthshire Advertiser*, 29.03.1939.

¹¹ *The Scotsman*, 21.10.1968.

¹² Perth & Kinross Archives, CC1/T&CP/69/1106.

there is a window still extant at the north end of the lounge. At first floor level the plans show the creation of the ensuite to what is now bedroom 1 and the creation of bedroom 5 and its own bathroom, including making a slapping in the rear wall and blocking and altering the existing window-opening to form a cupboard to bedroom 5. This change is shown for the first time on the 1972 OS map.

A photograph of the west cottage exists in the collection of Historic Environment Scotland, dating from the mid-1970s.¹³ This shows that by this time, a bay window had been added to the front of this house.

The houses were certainly joined into one property by the early 1990s, when Castle-Smith applied to erect flood barriers at the front of the house.¹⁴ This barrier is in the form of wall across the entrance façade in front of the loggia: its effect is to functionally re-orientate the building to the north, as the south façade can now only be accessed by walking around the house from the rear. While the building from at least this time forward operated as one property, they were incompletely joined: at ground floor level, a slapping was made within the rear lean-to, but at first-floor level the two halves of the building have remained entirely separate.

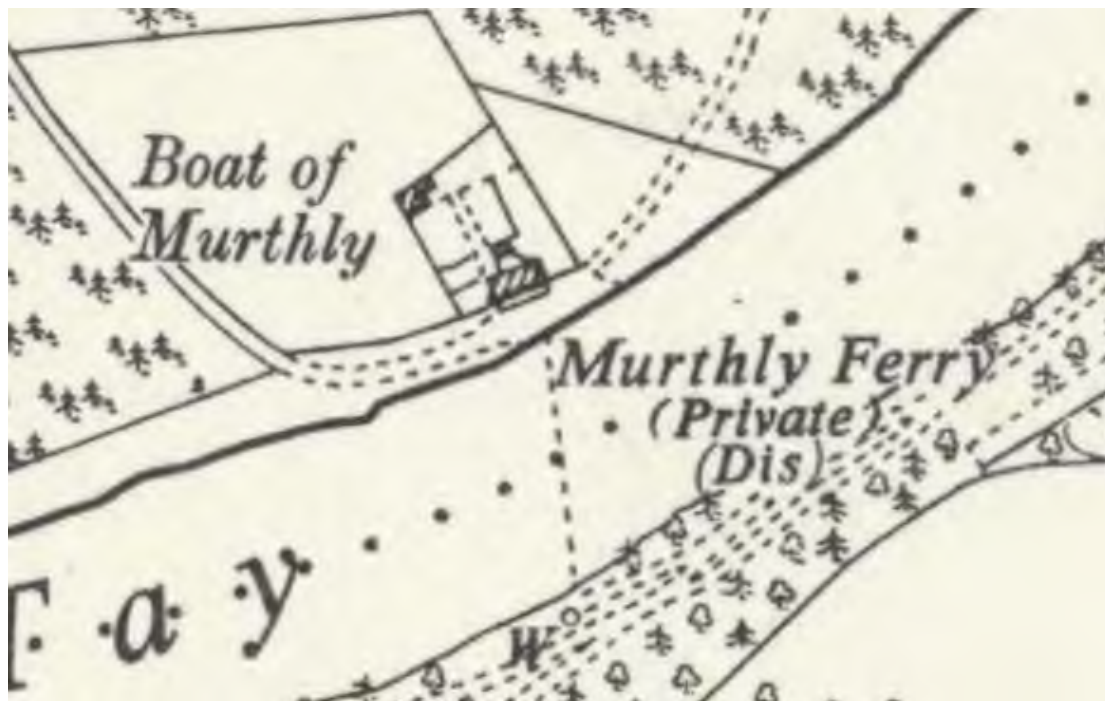


Figure 3 Mid-20th century OS map showing little change in the general size and shape of the houses

¹³ SC 1653847.

¹⁴ *Perthshire Advertiser*, 23.04.1993.

3.0 ANALYSIS OF SIGNIFICANCE

3.1 Introduction including definitions of interest

‘Significance’ is a specific heritage term defined by the Historic Environment Policy for Scotland (2019) in accordance with the Australia ICOMOS Burra Charter (2013)

Cultural significance means aesthetic, historic, scientific or social value for past, present or future generations. Cultural significance can be embodied in a place itself, its fabric, setting, use, associations, meanings, records, related places and related objects.¹⁵

The HEPS further states that ‘If a place has cultural significance or has the potential for important new discoveries, decision-makers need to consider this when making decisions.’¹⁶

This assessment evaluates the heritage asset as a place that embodies significance, or more fully cultural significance. The assessment is based on the information contained in the previous sections of this document. The HEPS discusses various elements which might contribute to cultural significance, including

- Its physical and material elements
- Its wider context and setting
- Intangible elements such as language and poetry, stories and song, and skills and traditions.¹⁷

However, the policy does not lay out how the cultural significance of physical and material elements should be evaluated or how these categories relate to the statutorily protected aspects of listed buildings, which are defined as those things which contributed to its character as a building of ‘architectural or historic interest’. In addition, there is an established planning policy that seeks to ensure that archaeological evidence is not permanently lost as a result of changes to Listed Buildings.

As the fundamental statutory framework is the same in Scotland and England, this document draws in this respect on the guidance laid out in Historic England’s 2019 document *Statements of heritage significance: analysing significance in heritage assets*.¹⁸ The guidance requires that cultural heritage should be considered from a range of different points of view, to reach as objective an overall assessment of the significance of a historic site as possible. These are:

- archaeological interest;
- architectural and artistic interest; and
- historic interest.

¹⁵ Historic Environment Scotland, *Historic Environment Policy for Scotland* (2019), 5.

¹⁶ Historic Environment Scotland, *Historic Environment Policy for Scotland* (2019), 15.

¹⁷ Historic Environment Scotland, *Historic Environment Policy for Scotland* (2019), 13.

¹⁸ Historic England 2019 *Statements of heritage significance: analysing significance in heritage assets* Historic England advice note 12. Swindon. Historic England.

3.2 Archaeological interest

Archaeological interest is derived from a heritage asset's potential to provide evidence of the past that is likely to be worthy of expert investigation.¹⁹

The house at Boat of Murthly has some archaeological interest, but it is relatively limited. The nineteenth century building is of a relatively common type, the history and development of which is well-understood. There are some unknowns relating to when exactly alterations were made at the house, such as changes to the windows, but these are unlikely to be pinpointed by archaeological investigation. The significance of the building does not derive predominantly from its archaeological interest.

3.3 Architectural and artistic interest

Architectural and artistic interest are derived from the design and aesthetic appearance of a place, as well as the ways in which people draw sensory or intellectual stimulation from it. This interest can arise either from conscious design or fortuitously from the way a heritage asset has evolved. More specifically, it can be derived from design styles, construction, craftsmanship, decoration, and creativity.²⁰

The house does have some architectural interest. The design of the building is an illustration of typical estate cottages of the mid-nineteenth century, and demonstrates the scale and style of 'improvements' on estates during this time. The house is of relatively simple design, but provided appropriate accommodation for the ferryman and his family. There are a number of architectural features which add to its interest, in particular the symmetrical nature of the façade to the Tay, and the bargeboards with finial at the apex of the gable, which are common in houses of this type and date. The six-arched loggia is also unusual, and elevates the building above other examples in the same genre. While there have been some minor changes which have altered the exterior appearance of the building, primarily to the rear, its original character is still predominant. The rear extensions have generally been of poor quality and appearance, and do detract from the architectural interest of the building to some extent, especially the postwar garage and flat-roofed extension. However, the rear of the building is generally utilitarian in character, with few decorative features, and makes a lesser contribution to the special interest of the house than the south elevation. This is consistent with its use, presumably as a kitchen, scullery, or laundry lean-to. The bay window is an appropriate addition, as they were common in buildings of the period, although the detailing of this specific example is slightly anachronistic and the fact that there is only one throws off the symmetry of the elevation. In terms of the interiors, early features such as the chimneypieces and panelling add to the special interest of the building.

One of the most significant features of Boat of Murthly is its relationship to its spectacular setting. The listing description specifically mentions that the building is 'picturesque' and the contribution of the setting to this is particularly strong. The house is set almost directly on a curve of the River Tay, and is surrounded by plantations on three sides. While

¹⁹ This definition is derived from *BS 7913:2013: Guide to the Conservation of Historic Buildings* (2013), p. 11, and Historic England, *Statements of Significance HEAN 12* (2019), p. 16.

²⁰ This definition is derived from *BS 7913:2013: Guide to the Conservation of Historic Buildings* (2013), p. 11, and Historic England, *Statements of Significance HEAN 12* (2019), p. 16.

the location of the building was chosen with function rather than an aesthetic relationship to the landscape in mind, the result makes an important contribution to the special interest of the site. It is also reflective of the landscape both as a place of work, for the Millers and others on the estate, and as a place of leisure for the residents of Murthly Castle and their friends and guests.

3.4 Historic interest

Historical interest is derived from a heritage asset's ability to demonstrate or illustrate the past or be associated with historic figures or events. Historical interest also comes from the meanings and collective experiences that a place holds for communities. Heritage assets can be associated with groups or individuals, or they may symbolise values.²¹

The house has some historic interest for its role in the history of the Murthly estate, and the way in which it demonstrates how Scottish estates were used and managed during the nineteenth century, and the ways in which that changed in the twentieth. As an example of 'improvement' on the estate, the house demonstrates how the standard of living for estate workers increased around this time; although 'improvement' was a complex practice which was often carried out to the detriment of estate employees and tenants, in this case the introduction of modern housing is likely to be a positive for the Miller family. The way that the house has changed and evolved is also indicative of changing housing trends in the area – in particular, the joining of the two semi-detached houses into one unit demonstrates how when the buildings were no longer in use by the estate, they became attractive to more wealthy owners, especially those with an interest in country pursuits. There is some historic interest derived from the association with families who lived in the house – in particular the Millers, who were resident at Boat of Murthly for over a century.

3.5 Summary statement of significance

The significance of Boat of Murthly resides primarily in:

- Its architectural interest, as a good example of a mid-nineteenth-century 'improved' estate cottage. The house exhibits a number of features typical to houses of this type and date, but the loggia in particular is an unusual feature which makes the building more unique.
- The house has experienced relatively little change, especially on its principal façade (with the exception of an addition of a bay window), since its construction, and as a result has a high degree of authenticity. The most negative changes to the appearance of the building are concentrated on the rear of the house, although this elevation has less significance overall.
- Its setting on the Tay, which is highly dramatic and which enhances the appearance and significance of the house. The setting also reflects the original function of the house as a ferryman's and fisherman's cottage, demonstrating the relationship between the building and the landscape.

²¹ This definition is derived from *BS 7913:2013: Guide to the Conservation of Historic Buildings* (2013), p. 11, and Historic England, *Statements of Significance HEAN 12* (2019), p. 16.

- Its role in the history of the Murthly estate, and what this can tell us about life on Scottish estates in the nineteenth century, and how this changed in the twentieth century.
- Its association with the Miller family.

Overall, Boat of Murthly is judged to be of **moderate** significance.

3.6 Significance levels definitions

In order to provide a clear overall framework for the assessment of levels of significance, this document uses a set of hierarchical categories of significance. This not only helps to define the overall significance of the site, but moreover identifies significant elements of the buildings, structures and areas, as well as those which are of an intrusive nature, that is, those that adversely impact upon the appreciation of elements of greater significance and should be removed or changed.

This section categorises the physical and spatial components of the site in relation to the three protected dimensions of significance in the previous section, into one of five categories of significance laid out in Table 1.²² These range from ‘outstanding’, meaning that the component is of international cultural heritage significance, through ‘considerable’ and ‘moderate’, supplemented by ‘neutral’ and ‘negative or intrusive to significance’. These are defined in Table 1 below.

There are no absolutely standard terms or definitions for assessing heritage significance, but these are based on conservation best practice, both in the UK and internationally. The top three categories are informed by: the definitions for Grade I, II* and II listed buildings as defined by Historic England;²³ the definitions for A, B and C listed buildings as defined by Historic Environment Scotland;²⁴ and by standard definitions of receptor value in Environmental Statement terms.

The assessment given here is ultimately founded on the professional judgment of the authors. It establishes parameters for appropriate and sensitive change at the site, ensuring that significant elements of its design, fabric and history can be preserved and enhanced.

²² Note that types of interest will not be set within this framework, only significance.

²³ See <https://historicengland.org.uk/listing/what-is-designation/listed-buildings/> (accessed August 2022).

²⁴ See https://www.historicenvironment.scot/advice-and-support/listing-scheduling-and-designations/listed-buildings/what-is-listing/#categories-of-listing_tab (accessed August 2022).

Table 1 Table of categories of cultural significance and definitions (below).

<i>Outstanding significance</i>
An asset or element of ‘exceptional interest’, an ‘outstanding example’ of a particular period, style or building type, usually of national to international importance. Or a fine, intact or little-altered example of a particular period, style or type, of special relevance to history or culture, and/or of extraordinary or unique archaeological, architectural, artistic or historic merit. It has rarity value, and very limited potential for substitution.
<i>Considerable significance</i>
An asset or element of ‘more than special interest’, a ‘major example’ of a particular period, style or building type, usually of regional or national importance, due to its archaeological, architectural, historic, or artistic interest, or a good, largely intact or little altered example of a particular period, style or type. It has rarity value, and limited potential for substitution.
<i>Moderate significance</i>
An asset of ‘special interest’, a ‘representative example’ of a particular period, style or building type, usually of regional or substantial local importance, or an element that contributes to, but is not a key constituent of the importance of the asset overall or the element of which it is a part. It has some rarity value, and limited potential for substitution.
<i>Neutral significance</i>
An asset or element with only limited interest, restricted to the immediate local context, and which makes relatively little contribution to the overall significance of the asset.
<i>Negative or intrusive</i>
An element that detracts from its context, or which detracts from the overall significance of the asset of which it is a part. The significance of the context or asset would be improved by its removal.

3.7 Elemental significance

In order to provide the basis for a more accurate assessment of the impacts of the proposals, the following sections describe the sources and levels of significance of those parts of the house which will be directly impacted by the works.

<i>Element</i>	<i>Significance</i>	<i>Level</i>
Principal elevation, excluding west bay window	This elevation has the greatest level of architectural detail, including the loggia, which is a unique feature which contributes strongly to its architectural interest. It also has the strongest relationship with the setting.	Considerable

West bay window	This is a later addition to the building in an anachronistic style.	Neutral
Other original exteriors	These are original exteriors of lower architectural interest. They are examples of a common historical type.	Moderate
Interiors with surviving panelling and chimneypieces	These are early or original interiors of some interest, although they are not of especially high material or design quality.	Moderate
Heavily altered interiors	Many interiors have been changed over time and lost original features.	Neutral
1970s extension of the east wing	This wing is a modern extension of reasonable quality, but it does not add to the special interest of the building.	Neutral
Garage and workshop	This structure is of poor material and design quality, and detracts from the special interest of the rest of the building.	Negative

4.0 ASSESSMENT OF HERITAGE IMPACTS

4.1 The rear extension

The proposals are for a removal of the rear garage and workshop. This part of the building is of poor quality and appearance, and its removal will be a significant conservation gain for the property overall. The existing 1970s extension will also be removed: while this work is not as detrimental to the character of the building as the garage, it does not make a positive contribution to the significance of the site.

A new extension will be constructed at the rear of the building, at the east end of the north elevation. The concentration of the new work on the east side of the building means that it is principally affecting fabric which has already seen substantial change, mostly during the ownership of Peter Castle-Smith in the later twentieth century, and allows the more intact plan of the west cottage to remain in place. It will also create vital circulation space at first-floor level: currently, although there is access between the two halves of the house at ground-floor level there is no permeation between them at first-floor, limiting the function of the building as a single family home, which it has been for at least thirty years.

The proposals do call for the removal of the roof of the rear lean-to, which will affect the appearance of the building in views from the north. However, this element, although original, is a rear service area to a building where the special interest of the site resides primarily in its south elevation and its relationship with its setting. The proposals involve the retention of some fabric from walls of the lean-to, and the proposed stair hall will be constructed to the same footprint, meaning that this space will remain legible in the new building. In addition, the form of the new central wing replicates the existing form of the central part of the building, including its sweeping lean-to roof, providing a reference to the original building form. This new roof section which will be finished in slate laid traditionally in diminishing courses with random widths, replicating the style of the earlier roof. The lean-to could be archaeologically recorded prior to its removal.

Compared to previous designs, these proposals are for a smaller extension overall. Although there is a small area of flat roof proposed (around a fifth of the total area of the extension), the new work will be predominantly pitched-roof and will appear as such in views towards the north elevation. There is, however, ample historical precedent for small, discreet areas of flat roof within historic roofscapes. Also in comparison to previous submitted drawings, the new proposed extension will be stepped back from the line of the historic east elevation to preserve the dominance of the historic fabric, and the ridge height of the new work will also be lower than the old.

The proposed extension includes a modest entrance on the north side. It should be noted that the house was functionally realigned to the north in the 1990s, as the construction of the flood wall by Peter Castle-Smith meant that the south elevation could only be accessed by walking around the property from the north, and the house is currently primarily accessed via the rear lean-to.

4.2 Alterations to principal elevation

Improvements are proposed to the principal elevation which will improve its appearance as well as its performance. The existing modern loggia glazing, which does not contribute to its special interest, will be removed, and replaced with a more unobtrusive glazing system. The profile of this new glazing will allow for the reintroduction of the impost blocks, the previous existence of which was discovered in historic photographs by

Simpson & Brown. These had been cut back at some point in the past, possibly when the existing glazing was installed. In addition, the existing felt on the roof of the loggia will be removed and replaced with lead, which is a much more authentic as well as attractive finish. The same photograph also showed the original form of finials on the dormer windows on this elevation, which will also be replaced.

The existing bay window on the south face of the west cottage will be removed and replaced with a window detailed to match existing on the east end of the façade, representing the historical fenestration in this location. The existing bay window is of unknown date but in its form and materiality appears to date from the postwar period; its style is anachronistic and its removal will be a conservation gain, especially considering that this is the most significant elevation of the house. The window-joinery of the replacement window, including the surround, shutters, and panelling, will be taken from the ground-floor rear window removed to create a larger opening into the new extension, re-using those materials and ensuring the most authentic appearance possible on the principal elevation.

Overall, these works represent a programme of significant improvement to the appearance of the principal elevation, which will enhance the special interest of the building by restoring elements of its original appearance. As there will be doors in the proposed new loggia glazing, the principal elevation will also still retain its function as an access to the house. These changes should also be considered alongside maintenance work which has already been carried out by the applicant which has enhanced the appearance of this elevation, including repointing and the removal of dense vegetation from this side of the site.

4.3 Further works to windows and doors

On the east elevation there are two non-original window-openings with concrete cills, lintels and quoins: these will be removed and rebuilt in stone to match other openings, and a new window will be installed with profiles to match existing present window types.

There will be a general overhaul and repair of windows where necessary, for example of the internal windows into the loggia, and of windows on the west gable. In some cases non-original windows will be removed and replaced with double glazing; this will be completed to match existing glazing patterns, and with astragals to match the form of existing retained windows. Where two windows with an early glazing pattern of laid panes has been found to survive, they will be kept in situ with bespoke secondary glazing installed. On the east gable there is a non-original door opening; this will be removed and the opening altered to accommodate a window with profiles to match existing.

4.4 Slappings in original fabric

The current scheme has reduced the number of slappings in original fabric to a minimum compared to the previously submitted scheme. No slappings are proposed between the two former cottages, as all circulation between the two halves of the building will be through the new rear extension. One new slapping is proposed at first floor to access this extension, and one opening at ground floor will be enlarged; both of these proposed changes are to the rear elevation, which has seen change in the past and is of less cultural-heritage significance overall. The enlarged slapping will be located at the rear of the west cottage, and will provide access between the proposed lounge and kitchen. The rear elevation of the east cottage has previously been altered, particularly with the

addition of the 1970s extension. Nonetheless, the window-joinery of this window will be carefully removed and used in the re-formed window on the west side of the south elevation, following the removal of the twentieth-century bay window there. A downstand beam will be left in place to delineate the historic relationship between the two spaces. In this way, what remains of the historic plan of the east cottage will be legible in the new building, and removed materials will be re-used as much as possible elsewhere on site.

4.5 Interior panelling

The interior panelling is proposed for retention. It will remain exposed in the drawing room and home office, both in the former west cottage. In the proposed lounge in the former east cottage, panelling will be exposed on the east wall, retaining the appearance of the inglenook fireplace. The flanking walls of the inglenook fireplace, and the north, south, and east walls will be framed out and finished with plasterboard. The south and west walls and ceiling will have deeper framing to accommodate service routes, with no impact on the panelling or ceiling linings. The dining room will also have plasterboard applied to the walls and ceilings. On the west wall the timber chimneypiece will be moved forward to the new wall line. Detailed layout drawings have been prepared to ensure minimal impact to the original fabric, which will be protected during works and will be preserved in situ under the new plasterboard.

4.6 Floors

The existing ground floor level in the east cottage is a historic suspended timber floor, while the floor in the west cottage has been altered. Expert reporting has shown a high flood risk to the building, making this original floor vulnerable to damage. In order to preserve the east cottage timber floor it will be removed and re-used in the west cottage, and the east cottage floor will be relaid with stone flags. Stone is both a flood-resistant material, and one which is appropriate to the age and type of the building.

4.7 Stair

The stairs in the east cottage will be removed. This part of the building has seen greater alteration over time, making this change less impactful. The stairs in the west cottage will be retained in situ without alteration, preserving the plan of the more intact side of the house.

4.8 Miscellaneous conservation gains

A number of additional works are proposed which will have a positive effect on the listed building. The existing inglenooks at ground floor level will not only be retained, but existing paint will be removed from them to expose the original stone finish. Additionally, an existing historic fireplace in the proposed snug (at first floor level in the west cottage) will be opened up and reinstated, restoring some of the original character of this room.

An area of non-original harling on the east elevation will be removed to expose the masonry. The existing bargeboards and finials will be repaired and repainted, and non-original asbestos soffit-boards around the eaves and bargeboards will be removed to expose existing concealed rafter ends. In addition, existing uPVC rainwater goods will be replaced with cast iron. All of these changes will have the effect of restoring elements of

the building to their original appearance, not only preserving but enhancing the special interest of Boat of Murthly.

5.0 CONCLUSION

The proposals are for alterations to Boat of Murthly, a Category B listed building near Dunkeld, Perth & Kinross. Boat of Murthly was built in the mid-nineteenth century as two semi-detached estate cottages to house estate workers (including a ferryman). At some point in the later twentieth century the two properties were united into one house, and a number of alterations were made including the addition of a rear extension and garage. The proposals involve the removal of the existing, poor-quality extensions and the construction of a new rear extension of higher design and material quality, along with alterations to the historic fabric to rationalise use of the building. This will be undertaken alongside a programme of conservation of the building.

Policy 7a of NPF4 recognises an informed approach to conservation, and requires that development proposals with potential for a significant impact on a historic building or place be accompanied by an assessment of that place's significance. This document includes an assessment of the significance of Boat of Murthly, alongside a thoroughly-researched account of what we know about the historical sources of that significance. This policy is therefore satisfied by the provision of this heritage statement.

Policy 7c of NPF4 and policy 27A of *Perth & Kinross Local Development Plan 2* deal with listed buildings. Both policies stress that the special architectural and historic interest of listed buildings should be preserved when changes are made, with the local development plan also stating that there is a presumption in favour of sympathetic restoration, correct maintenance, and sensitive management of historic buildings.

These proposals are for the removal of existing poor-quality extensions to a listed building, and their replacement with an extension of far higher quality, which draws its design inspiration from Boat of Murthly itself. This is a positive development. There are also numerous conservation gains proposed for the building which will improve its appearance and its integrity as well as its thermal performance and its resilience to climate change. These include the removal of other non-original features such as the bay window on the south elevation of the west cottage, harling on the east gable, asbestos soffit-boards, a felt roof on the loggia, and uPVC rainwater goods. Slapped windows with concrete lintels will be removed and replaced with windows detailed to match earlier ones. Internal timber panelling will also be retained. The covering of some of the panelling in the east cottage is a reversible change which will preserve this feature in situ.

There will be some changes to the historic fabric, in particular the introduction of a slapping and enlargement of another opening in the rear exterior wall of the building; the removal of the east stair; and the removal of the roof of the rear lean-to. These changes have been concentrated in areas of the building which have seen the most change in the past. Areas which retain the greatest authenticity are the south and west elevations and the planform of the west cottage; these areas are seeing very little alteration with the exception of conservation gains, such as the removal of the ahistoric bay window and the removal of paint from chimneypieces. Not only have the elements proposed for greater change seen more change in the past, they are all areas of the building which have lower cultural-heritage significance. This is in part due to their lesser authenticity, but also due to lower architectural and aesthetic interest, which is concentrated in the south elevation and also in the relationship of the building to its setting on the River Tay, which is one of the most important elements of Boat of Murthly's heritage value. Given the minimal

impact on the most significant elements of the Boat of Murthly, and the accompanying extensive programme of conservation gains proposed as part of these works, it is not anticipated that there will be a significant adverse impact on the listed building as a result of the proposed changes.



Atholl
Associates

Flood Risk and Drainage

FLOOD RISK ASSESSMENT:
ALTERATIONS TO EXISTING HOUSE,
AND NEW GARAGE AND PLANT ROOM,
BOAT OF MURTHLY, BY DUNKELD,
PERTSHIRE

Ref: AAFR/BC/317c

May 2025

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Revision Schedule:

Rev	Date	Page	Details

 Flood Risk Assessment (FRA) Checklist (SS-WFRA-001 - Version 13 - Last updated 15/04/2019)	
This document should be attached within the front cover of any flood risk assessments issued to Local Planning Authorities (LPA) in support of a development proposal which may be at risk of flooding. The document will take only a few minutes to complete and will assist SEPA in reviewing FRAs, when consulted by LPAs. This document should not be a substitute for a FRA.	
Development Proposal Site Name: Proposed alterations, Boat of Murthly, by Dunkeld, Perthshire Grid Reference: Easting: 306220 Northing: 1739801 Local Authority: Perth and Kinross Council Planning Reference number (if known): Nature of the development: Residential If residential, state type: Single house Size of the development site: 0.6 Ha Identified Flood Risk: Fluvial Source name: River Tay	
Supporting Information Have clear maps / plans been provided within the FRA (including topographic and flood inundation plans)? Yes Has a historic flood search been undertaken? No Is a formal flood prevention scheme present? No If known, state the standard of protection offered: Current / historical site use: Existing house	
Hydrology Area of catchment: km² Qmed estimate: 1724 m³/s Method: Other Estimate of 200 year design flood flow: 2094 m³/s Estimation method(s) used: Other If other (please specify methodology used): From AECOM study for Dunkeld FP If Pooled analysis have group details been included: Select from List	
Hydraulics Hydraulic modelling method: 1D steady Software used: HEC-RAS If other please specify: Modelled reach length: 672.9 m Any structures within the modelled length? Select from List Specify, if combination: Brief summary of sensitivity tests, and range variation on flow (%): 5.5 % variation on channel roughness: 0.01 % blockage of structure (range of % blocked): % boundary conditions: (1) type: Upstream Downstream Specify if other: Flow Normal depth Specify if other: Flow Normal depth (2) does it influence water levels at the site? Yes No Yes Has model been calibrated (gauge data / flood records)? Yes Is the hydraulic model available to SEPA? Yes Design flood levels: 200 year: 43.5 m AOD 200 year plus climate change: 45 m AOD	

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 Flood Risk Assessment (FRA) Checklist (SS-WFRA-001 - Version 13 - Last updated 15/04/2019)	
This document should be attached within the front cover of any flood risk assessments issued to Local Planning Authorities (LPA) in support of a development proposal which may be at risk of flooding. The document will take only a few minutes to complete and will assist SEPA in reviewing FRAs, when consulted by LPAs. This document should not be a substitute for a FRA.	
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2.0 General description of the site.....	4
3.0 General observations.....	22
4.0 Estimation of flood flows.....	23
5.0 Predicted flood levels.....	26
6.0 Proposed mitigation and management of flood risk.....	33
7.0 Conclusions.....	36
8.0 References.....	37

APPENDICES:

Appendix A: Excerpt from AECOM report for PKC

Appendix B: Output from HECRAS model

PLANS:

18524-02-2D-Layout1	Topographical survey
061124	Cross section location plan
BOM-SAB-DH-XX-SP-A-0100_P01	Existing Site Plan
BOM-SAB-DH-00-SU-A-0101_P03	Existing Ground Floor Plan
BOM-SAB-DH-XX-LP-A-0101_P03	Location Plan
BOM-SAB-DH-01-SU-A-0102_P03	Existing First Floor Plan
BOM-SAB-DH-XX-SP-A-0101_P04	Existing Site Plan [with downtakings]
BOM-SAB-DH-XX-SP-A-0201_P06	Proposed Site Plan
BOM-SAB-AA-00-GA-A-0101_P09	Double Garage with Plant Room - Proposed Ground Floor Plan
BOM-SAB-DH-01-GA-A-0102_P10	Dwelling House - Proposed First Floor Plan
BOM-SAB-DH-00-GA-A-0101_P12	Dwelling House - Proposed Ground Floor Plan
AA-317-DD-001	Flood Extents

1.0 Introduction

Atholl Associates Limited have been instructed by Ms J. Maude to carry out a Flood Risk Assessment in support of proposed changes to an existing house (Boat of Murthly), situated on the left bank of the River Tay between Dunkeld and Murthly, plus a proposed garage and plant room in the garden of the existing house.



*Figure 1.1 - Rural Location plan
(excerpt from BOM-SAB-DH-XX-LP-A-0101_P03 see Plans section)*

The location is adjacent to the River Tay and is indicated to be partly within the SEPA indicative flood extents for the current 1 in 200 year flood, and almost completely within the 1 in 200 year plus climate change flood extents. Hence consideration needs to be made of whether current proposals would constitute landraising within a floodplain, or of increased vulnerability due to the proposed change in use.

Hence, a Flood Risk Assessment (FRA) is needed in order to establish, to the satisfaction of Perth and Kinross Council (PKC), whether the proposed building may be within the functional floodplain of the River Tay, and hence would potentially be at risk of flooding, and could also increase flood risk to third-party properties by reducing flood storage.

It is normal for a development of this type to be assessed for flood risk from a flood with a return period of 1 in 200 years (for assessing flood risk area extents and the effects of landraising). Consideration is also given here to whether it would be affected by climate change for the new building (garage and plant room). However, for the existing house, it is current risk rather than future risk which is the more relevant and hence climate change is not relevant in this case.

1.1 Scope and methodology

The scope of this Flood Risk Assessment is to assess and quantify flood risk to the proposed development. Flood risk to the development will be assessed for a 1-in-200-year flood event plus climate change.

To assess flood risk to the development, a topographical survey has been undertaken in the area near to the site and surrounding area as appropriate, and including surveyed cross sections through the River Tay. This has been done to enable hydraulic modelling to be carried out. The survey was preceded by a site walkover to confirm the extent of survey required.

Using the predicted Q200+CC flood flow in the vicinity of the site (based on previously assessed flows from a study on behalf of PKC as discussed later), flood risk has been assessed and applied in the hydraulic model. The results provided by the hydraulic model have been utilised with the topographical survey data to assess flood risk to the site.

Based on the assessed flood risk to the site, recommendations for the site from the perspective of flood risk have been made.

This assessment is prepared using our best engineering judgement but there are levels of uncertainty implicit in the historical data and methods of analysis. Details of the range of possible error in the methods of flood estimation are given in the Flood Estimation Handbook (FEH).

This Flood Risk Assessment is carried out in accordance with the requirements of planning document NPF4, the Planning Advice Note 61 (PAN 61): Planning and Sustainable Urban Drainage Systems, PAN 69: Planning and Buildings Standards on Flooding and BS 8533-2011 Assessing and Managing Flood Risk in Development Code of Practice 4. Hence, it is normal for a development of this type to be assessed for flood risk from a flood with a return period of 1 in 200 years, and to take into account the potential effects of climate change (for floodplain extents and landraising).

This assessment uses a set of procedures originally set out in the Flood Estimation Handbook (*Institute of Hydrology, 1999*) and embodied in the FEH and WINFAP software packages currently used.

2.0 General description of the site

The site is situated on the left (north) bank of the River Tay some 2km downstream of Dunkeld. The site is in a rural location, accessed from the A984 Old Military Road by a track approximately 800m long which runs through extensive areas of woodland. The access track reached the banks of the river at the location of a nearby fishing hut, then runs along the bank of the river for the final 100m or so. Once the access track passes the frontage of the house, the track turns north over an embankment and enters the grounds of Boat of Murthly.

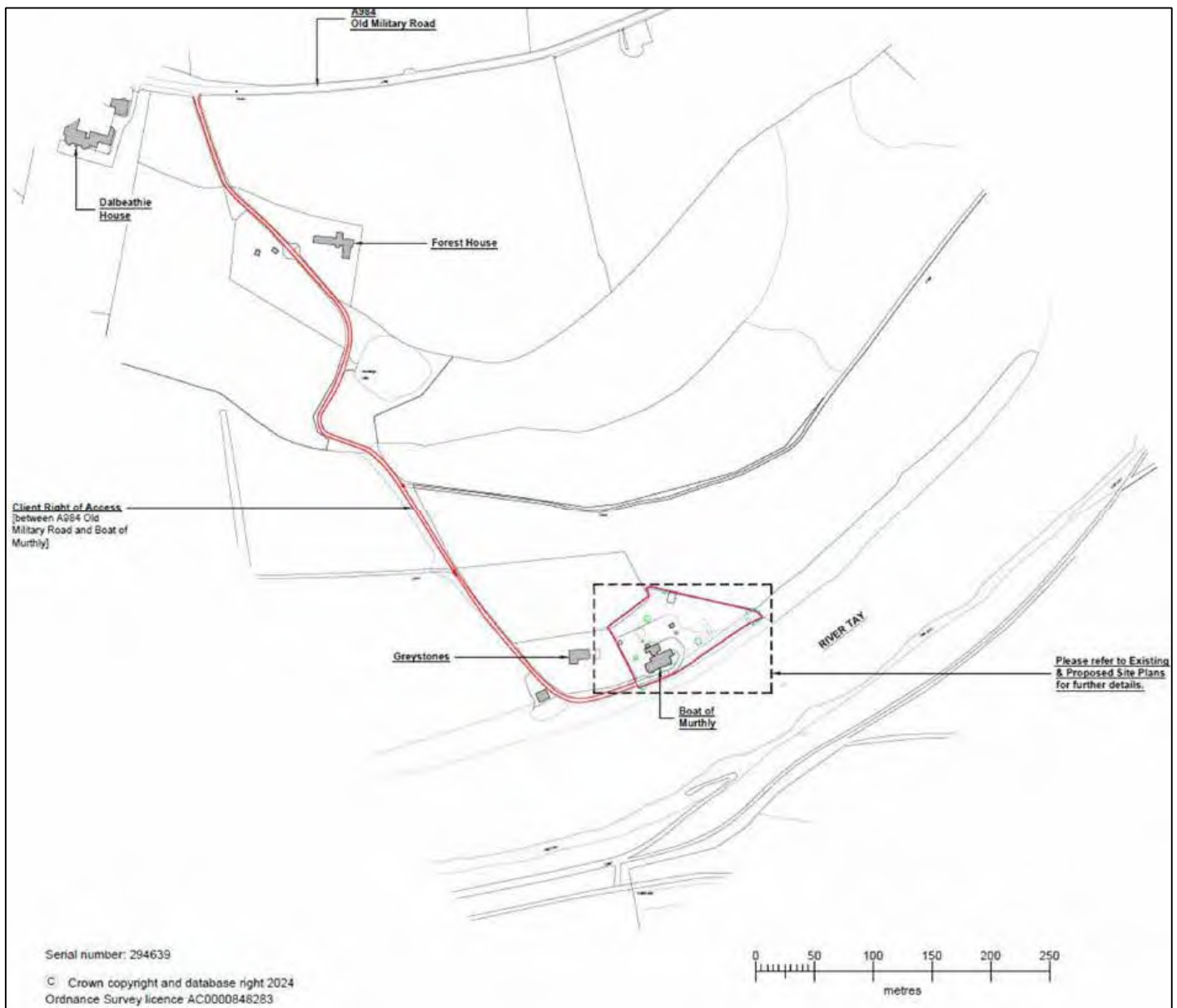


Figure 2.1 - Location plan
(excerpt from Drawing BOM-SAB-DH-XX-LP-A-0101_P03 see Plans section)

The site is surrounded on two sides by woodland to the north and east. To the west there is a neighbouring property (Greystones) which appears to be a relatively modern bungalow. To the south, the River Tay flows from southwest to northeast past the property. On the opposite bank, the river is largely wooded, with steep slopes, whereas the ground in the forested area around the subject site is flatter, undulating ground which gradually rises to the north towards the A984 public road.

The river here is wide and sits several metres lower than the grounds of the house. However, the River Tay has a very large catchment, and despite the regulating effect of significant upstream storage (including Loch Tay), the river rises significantly during flood events. Historic floods on this stretch of the river include the flooding in 1993 which affected much of the surrounding area (including the city of Perth downstream). Significantly, the property subject site was affected, causing internal flooding to some depth (anecdotally, to approximately the level of the ground floor windowsills).

The house is a substantial old building, which originally served as two adjacent semi-detached cottages, but at some point it has been converted into a single larger dwelling. The house is set out on two storeys, within gardens which include several outbuildings, including an existing annexe to the rear. The floor level on the ground floor of the house is set at 42.91m AOD according to the topographical survey.

A significant feature of the house is a flood wall and associated flood bunds, which were built as a response to the 1993 flooding. The structure is substantial and was built to a design by Allen Gordon Consulting Engineers (see Figures 2.2 to 2.6 below).

B	MAY 1993	150 DIA. PIPE & SUMP ADDED. NOTE ADDED AT NOTE 1. CORE & OTHER ADDITIONS TO SECTION THROUGH WALL. POLYTHENE CONTINUED BEYOND END OF CUT OFF TROUGH. SMALL AREA NOTED TO BE SOILED BUT NOT SEEDED.
A	APRIL 1993	LOCATION PLAN & SITE LAYOUT PLAN ADDED. WALL ALIGNMENT ALTERED CUT OFF LENGTH REDUCED. 2 STEEL PIPES THROUGH WALL & NOTES ABOUT WELL & BANK ADDED. 10.3 CHANGED TO 10.7 (TWICE). SEPTIC TANK PIPE NOW STEEL.
FOR:-		
Col. CASTLE SMITH THE BOAT OF MURTHLY DUNKELD		
<u>THE BOAT OF MURTHLY</u>		
PROPOSED FLOOD BARRIER		
 ALLEN GORDON Allen, Gordon & co. Consulting Civil & Structural Engineers 15 KING ST. PERTH PH2 6JA Tel: 39881 90 BROOK ST. DUNDEE DD1 6BP Tel: 21216 8 ARDROSS ST. INVERNESS IV3 5NN Tel: 236516		DRAWING No 2105.1/B DATE MARCH 1993 SCALES AS SHOWN DRAWN EH CHECKED B. W. K.

Figure 2.2 - Excerpt from original design drawing of flood wall by Allen Gordon Consulting Engineers (1 of 5)

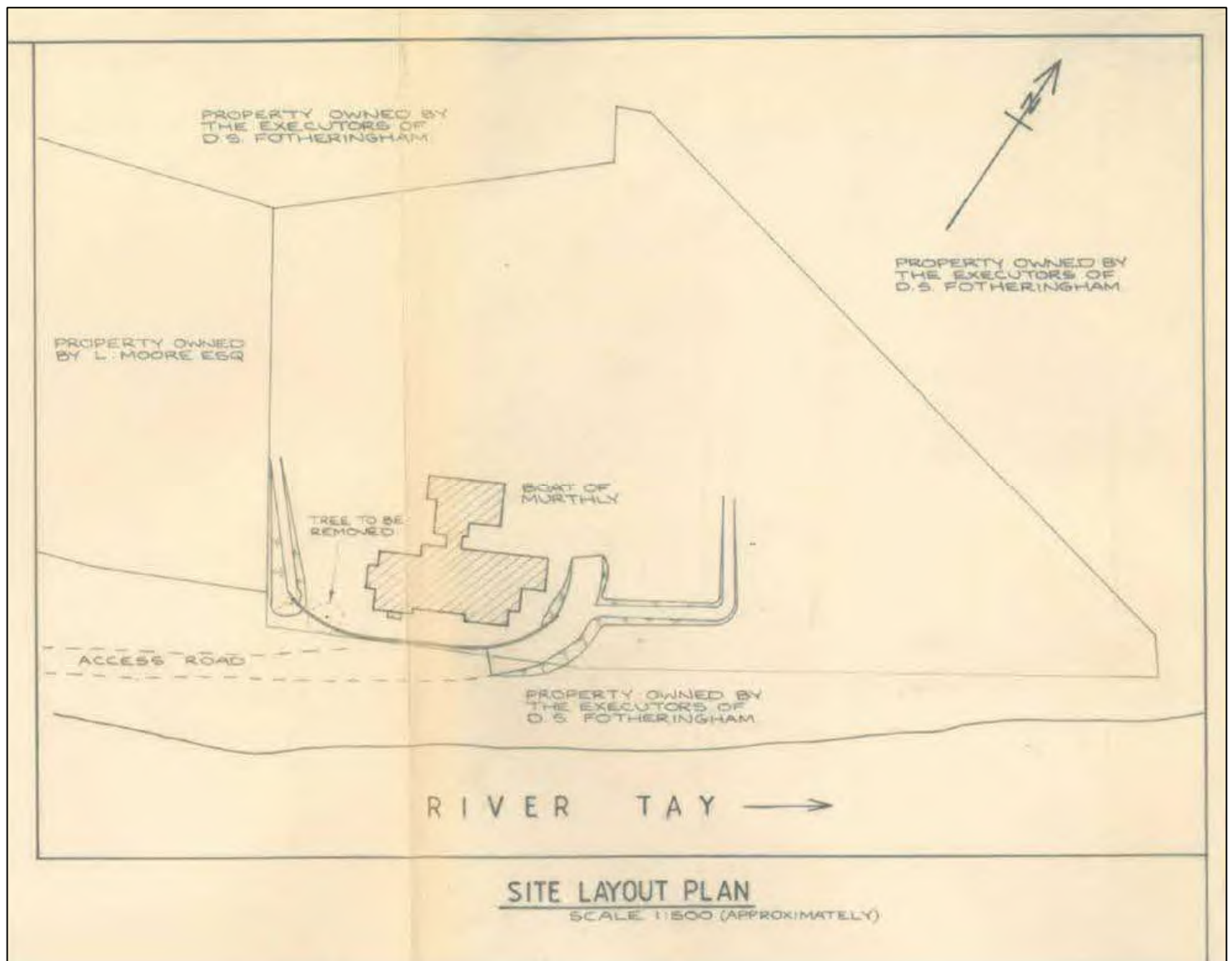


Figure 2.3 - Excerpt from original design drawing of flood wall by Allen Gordon Consulting Engineers (2 of 5)

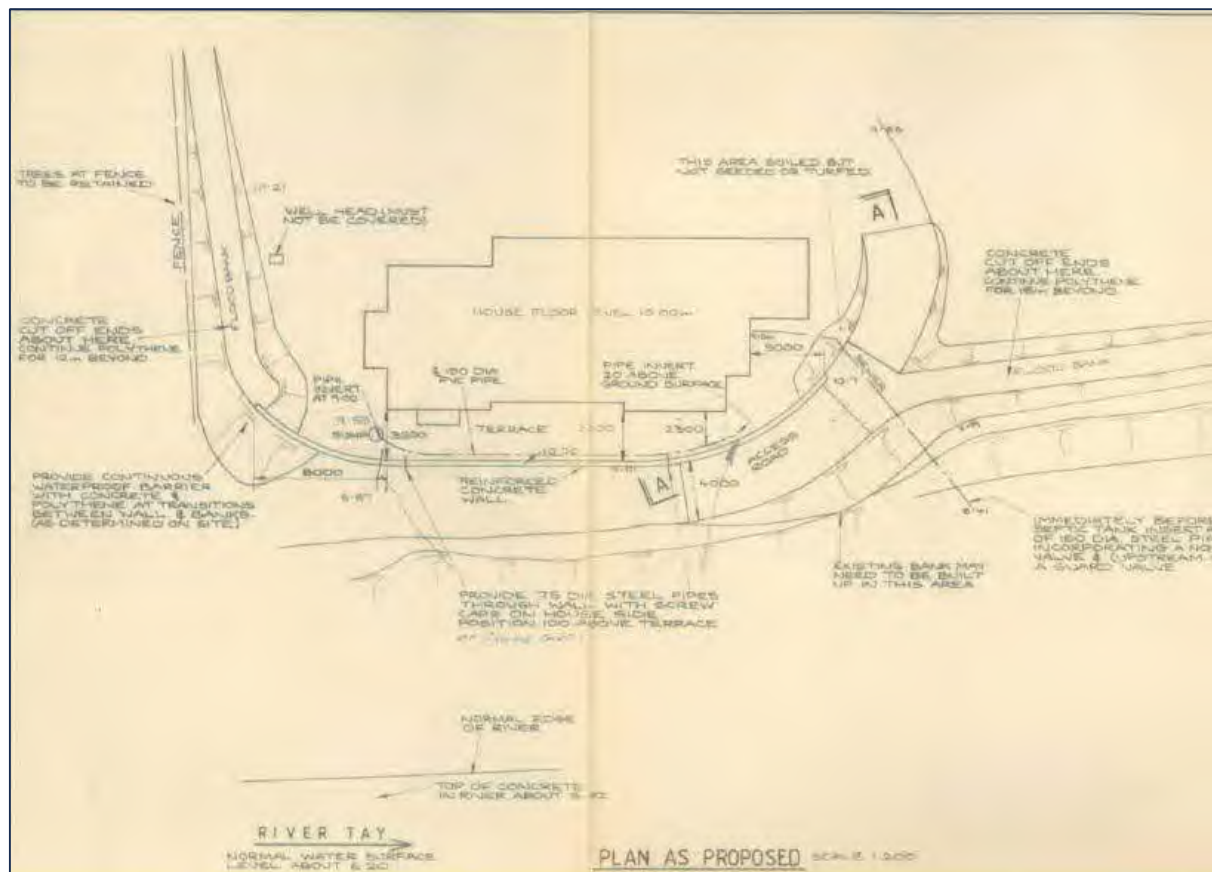


Figure 2.4 - Excerpt from original design drawing of flood wall by Allen Gordon Consulting Engineers (3 of 5)

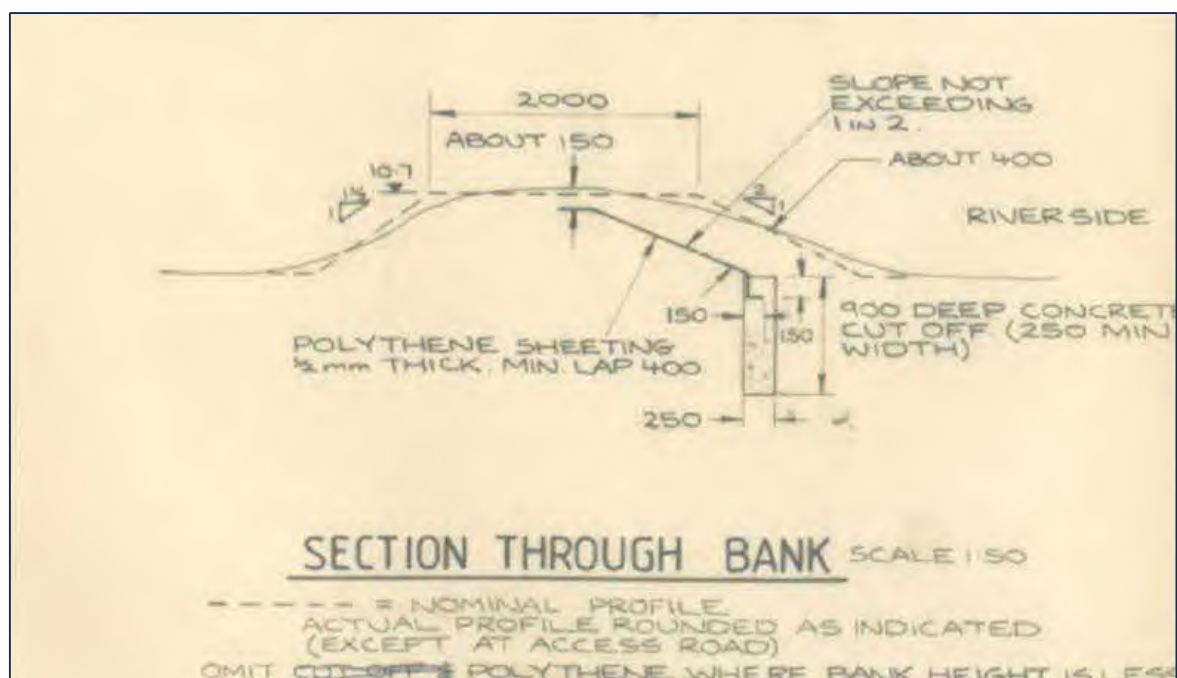


Figure 2.5 - Excerpt from original design drawing of flood wall by Allen Gordon Consulting Engineers (4 of 5)

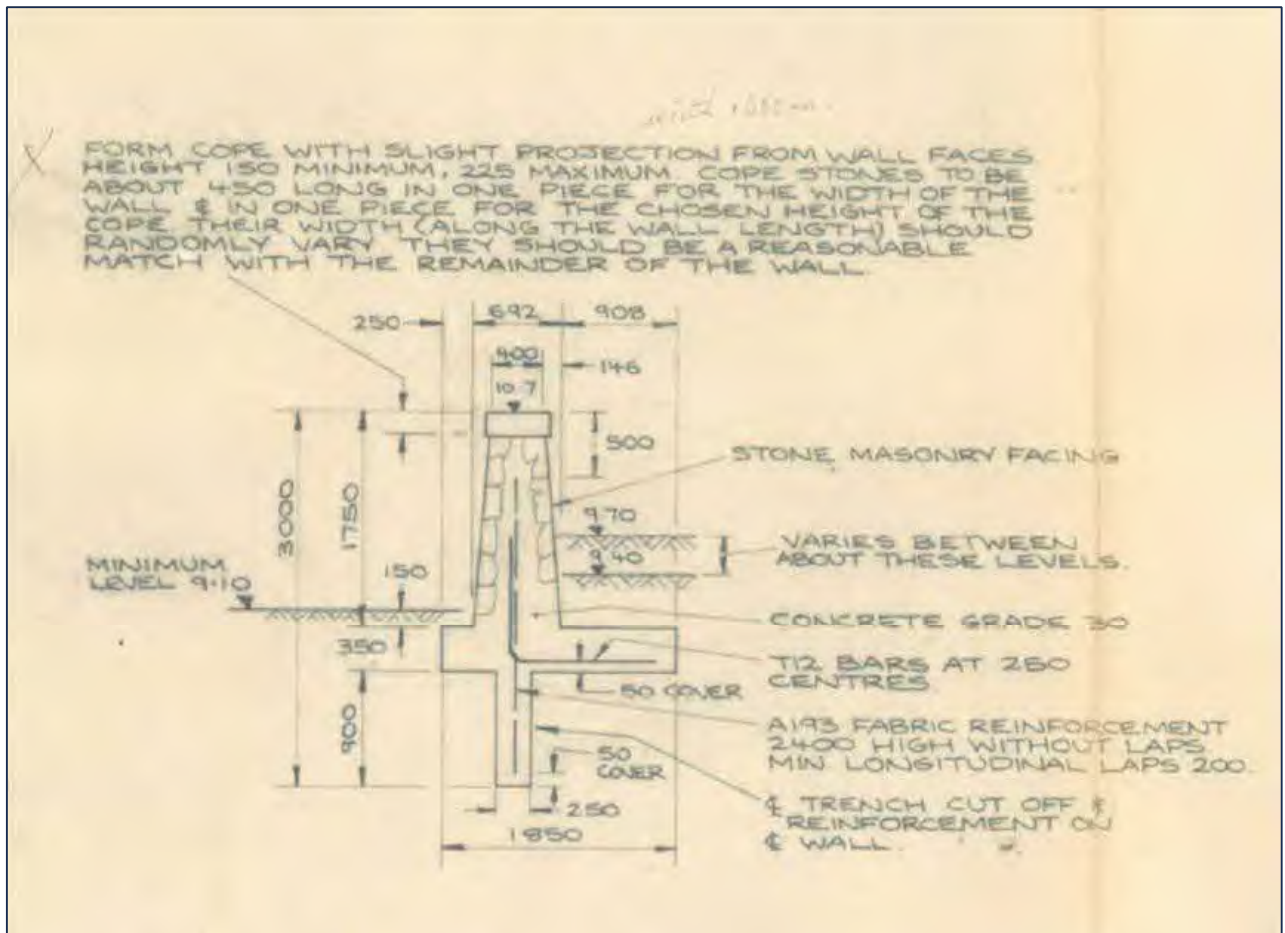


Figure 2.6 - Excerpt from original design drawing of flood wall by Allen Gordon Consulting Engineers (5 of 5)

The concrete wall and associated bunds at either end are built to a nominal crest height of 43.85m AOD (based on the current topographical survey), although the bunds appear to have settled slightly over time and require some minor upfilling to restore them to their design height.

The garden of the house sits in a hollow formed by the encircling wall and bunds, with a low point of 42.4m AOD (foot of flood protection wall on north side, adjacent to the southwest corner of the house), rising to 44.8m at the most northerly end of the garden.

As well as the permanent access via the driveway at the riverside, there are gates at the northern end of the garden, giving access to (higher) adjacent land. One gate connects to an open field to the northwest, which links to the main access road further west, while another gate links to a track within the woodland which also eventually links to the access road further to the northwest.

Topographical survey work was undertaken by Douglas Land Surveys in July 2024, while a cross sectional survey of the river was completed in November 2024 by Mick McWilliam Surveys (see Plans section). Excerpts from survey drawings are shown in Figure 2.7 below and Figure 5.1 in Section 5.

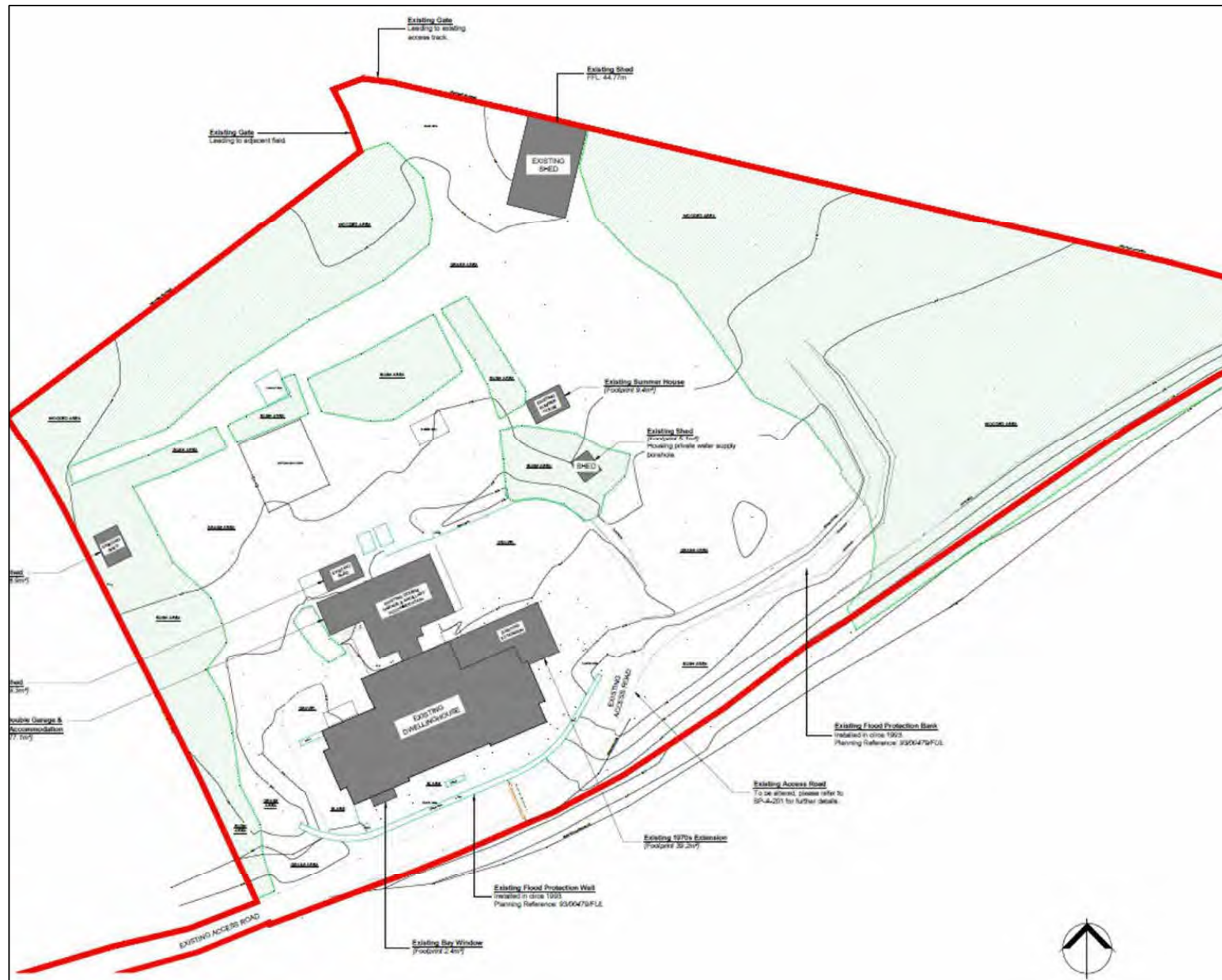


Figure 2.7 - Existing layout (excerpt from Drawing BOM-SAB-DH-XX-SP-A-0100_P01-see Plans section of this report)

Regarding the adjacent stretch of the River Tay, it can be said that the stretch is relatively straight (examination of Figure 1.1 shows that it is strictly speaking on the inside bank of a gentle curve. The reach is relatively wide and uniform, and with little evidence of any particular changes of gradient/rapids/obstructions/etc. There are no structures on this stretch of river, (the nearest bridges are the Dunkeld Bridge around 2km upstream, and the bridge at Caputh, which is over 3km downstream. There is a small island in the downstream channel, but this is more than 500m downstream of the site and unlikely to have any influence on flow patterns at the subject site.

The bed of the river is easily visible near the left bank at lower flows, when some areas of the bed dry out, and the clear relatively tranquil water further into the channel gives good visibility. Hence it can be said that the bed is mainly gravel and cobbles with some boulders and occasional bedrock outcrops. There is very little sign of weed growth in the river. Although not so easily discernible by visual inspection, the topographical survey shows that there is a deep pool (at least 2 to 3 m deeper than the rest of the channel) near the right bank, running for some tens of meters parallel with the right bank. This linear feature is well known to the local anglers.

It is proposed to revise the layout of the house, retaining the main features of the original building, but with some alterations both to the exterior and interior, as set out in the architects' plans. An overview of the proposed layout is shown in Figure 2.8 overleaf, and further details are contained in the architects' plans attached to this report (see Plans section).

It is proposed to build a new garage and plant room which will sit in the grounds of the existing house, but at a higher level towards the north of the site. An overview of the proposed layout is shown in Figure 2.8 overleaf. This includes a line indicating the predicted 1 in 200 + climate change flood envelope. Importantly, it is clear that the new building is outwith the floodplain (this is discussed in more detail later in the report).

Further details of the proposed layout for the alterations to the house plus the new building are contained in the architects' plans attached to this report (see Plans section).



Figure 2.8 - Proposed site layout (excerpt from Drawing BOM-SAB-DH-XX-SP-A-0201_P06 Proposed Site Plan – see Plans section)



Figure 2.9 - Photograph location plan (1 of 2)

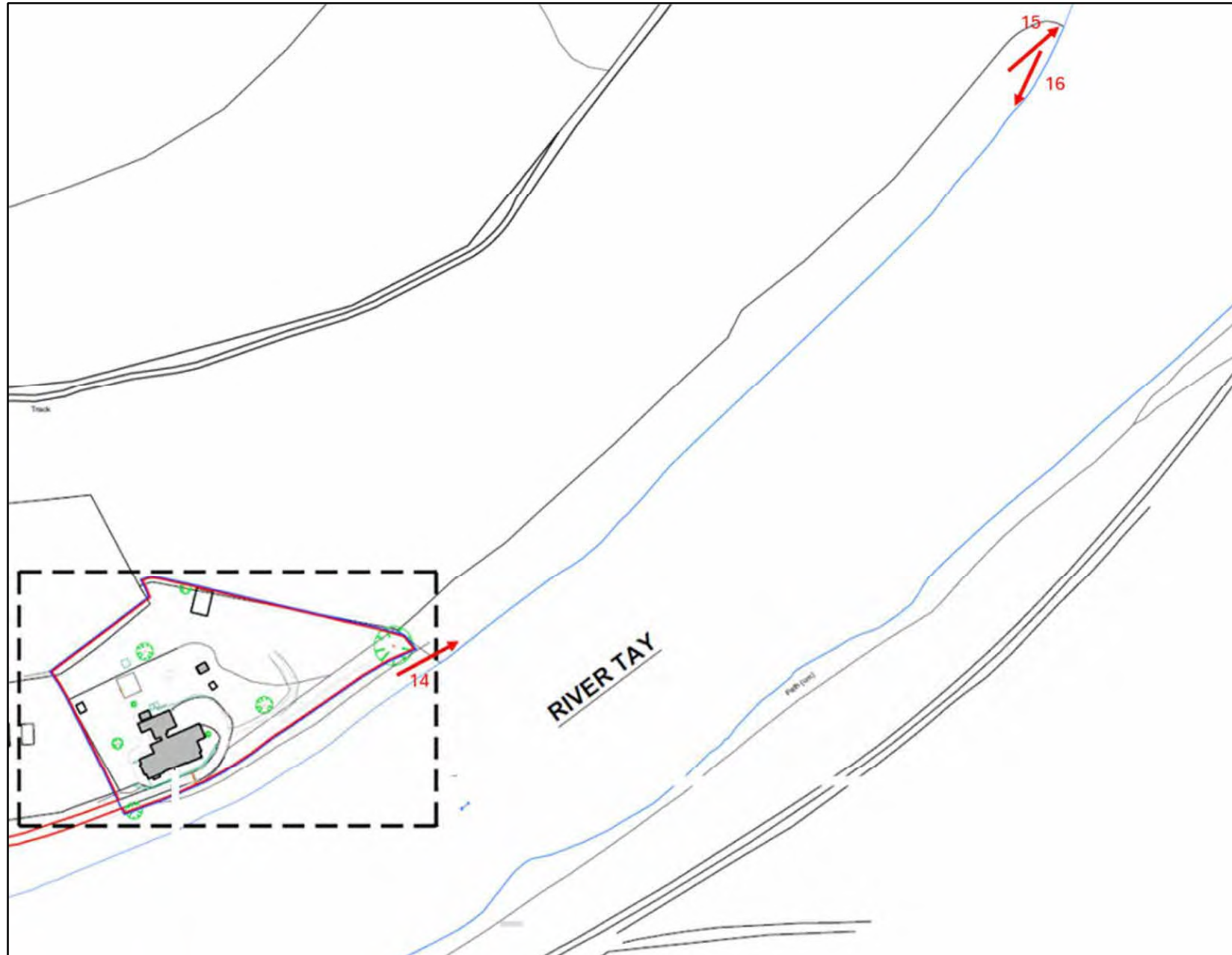


Figure 2.10 - Photograph location plan (2 of 2)



Photograph 1 - Boat of Murthly main house in centre, annexe building to the right/behind, and flood wall to the left. The annexe building on this side is a double garage, whereas the western side of the annexe (see Photographs 9 and 10) is a wooden clad building which includes a toilet and a shower room.



Photograph 2 - Main part of house in masonry with existing extensions (yellow render) to the right. Access track on the left as it drops down from high point over flood wall.



Photograph 3 - Main part of the house, with existing extensions to the right, and flood wall/river to the left, viewed from the high point on the access track.



Photograph 4 - Looking west (upstream) along the flood wall and the River Tay beyond, from the southeast corner of the house.



Photograph 5 - Eastern end of the house, with the access track rising up to cross over the top of the flood wall.



Photograph 6 - Looking east (downstream) along the flood wall, with the main frontage of the house on the left, and access track and the River Tay to the right.



Photograph 7 - Looking northwest along the flood wall and the connecting flood bund behind, from the southwestern corner of the house.



Photograph 8 - View from the upstream (western) end of the flood wall, towards the access track and the River Tay beyond.



Photograph 9 - Rear of the main building on the right, and annexe building on the left.



Photograph 10 - Looking north from the western end of the main house past the annexe building, towards higher ground.



Photograph 11 - Looking east to higher ground. On the right, the downstream flood bund which connects between the flood wall and higher ground can be seen tapering to zero (area in shadow on right below trees).



Photograph 12 - View of the house and garden from the east, showing higher ground to the right, and flood wall immediately to the left of the house.



Photograph 13 - Most northerly point in grounds of Boat of Murthly, where there is a gate with access to a track through the forest to higher ground to the north. On the left is an open field, accessed by another gate just off to the left, which also affords access to higher ground connecting to the main access track without while remaining above the Q200+CC level.



Photograph 14 - Looking downstream on the River Tay along the left bank from approximate downstream limit of subject site.



Photograph 15 - Looking downstream for approximate location of Cross Section 1 (i.e. downstream extents of modelled reach) towards a small island in the distance. As the river is relatively low, there are some exposed areas of the bed, showing coarse gravel and cobbles with occasional boulders.



Photograph 16 - View looking upstream from same location as Photograph 15. Subject site is just upstream and around the corner on the right.

3.0 General Observations

The objectives of this flood risk assessment are to analyse flows in the River Tay, to define appropriate flood levels and flood plain extents in the vicinity of the site. Also, to establish whether there are safe means of access and egress from the site during flood events.

According to the indications in SEPA flood mapping, the site is partly within the 1 in 200 year (medium risk) floodplain. As is normally the case when considering flood risk at an individual site level, further investigation is required. This will be checked by carrying out an assessment of flood levels in the adjacent stretch of the River Tay (see Section 5.0 of this report).

As there are no structures on the river in the vicinity of the site or for several kilometres downstream, there will be no need to model blockage scenarios.

There is an existing flood defence in place which was built in 1993 or thereby. Based on the drawings, and the fact that it was designed by consulting civil engineers (Allen Gordon Consulting Engineers), it is clearly robust and fit for purpose from a structural point of view. However, we need to check whether the crest height of the wall still gives an adequate level of protection, given that estimations of flood risk including climate change allowances mean that current standards are significantly higher than they were 30 years ago.

Given that there is an existing habitable house on site, it should be possible to make alterations to the house providing this does not involve an increase in vulnerability, and providing there is no increase in the footprint of the revised building compared to the existing buildings as they are now. In addition, it would be a positive change if the completed revisions to the house included an increase in flood resilience.

Regarding the proposed garage and plant room, it is important that this is built outwith the predicted floodplain (including climate change allowance) in order to avoid landraising in a floodplain, with consequent loss of flood storage.

4.0 Estimation of Flood Flows

In order to define the extent and water surface level of the 1 in 200 year flood risk area (including an allowance for climate change), flood flows need to be estimated for the River Tay in the vicinity of the site. Normally, this would involve using standard flow estimation methods such as the FEH Statistical Method, the FEH Rainfall Runoff Method and ReFH2. However, in this instance, a recent study has been undertaken by AECOM on behalf of PKC regarding flood flows at Dunkeld (the report considers options for a Flood Protection Scheme for Dunkeld).



Figure 4.1 - River Tay Catchment at Boat of Murthly from FEH Web Service
(River Tay Catchment area = 3,204km²)

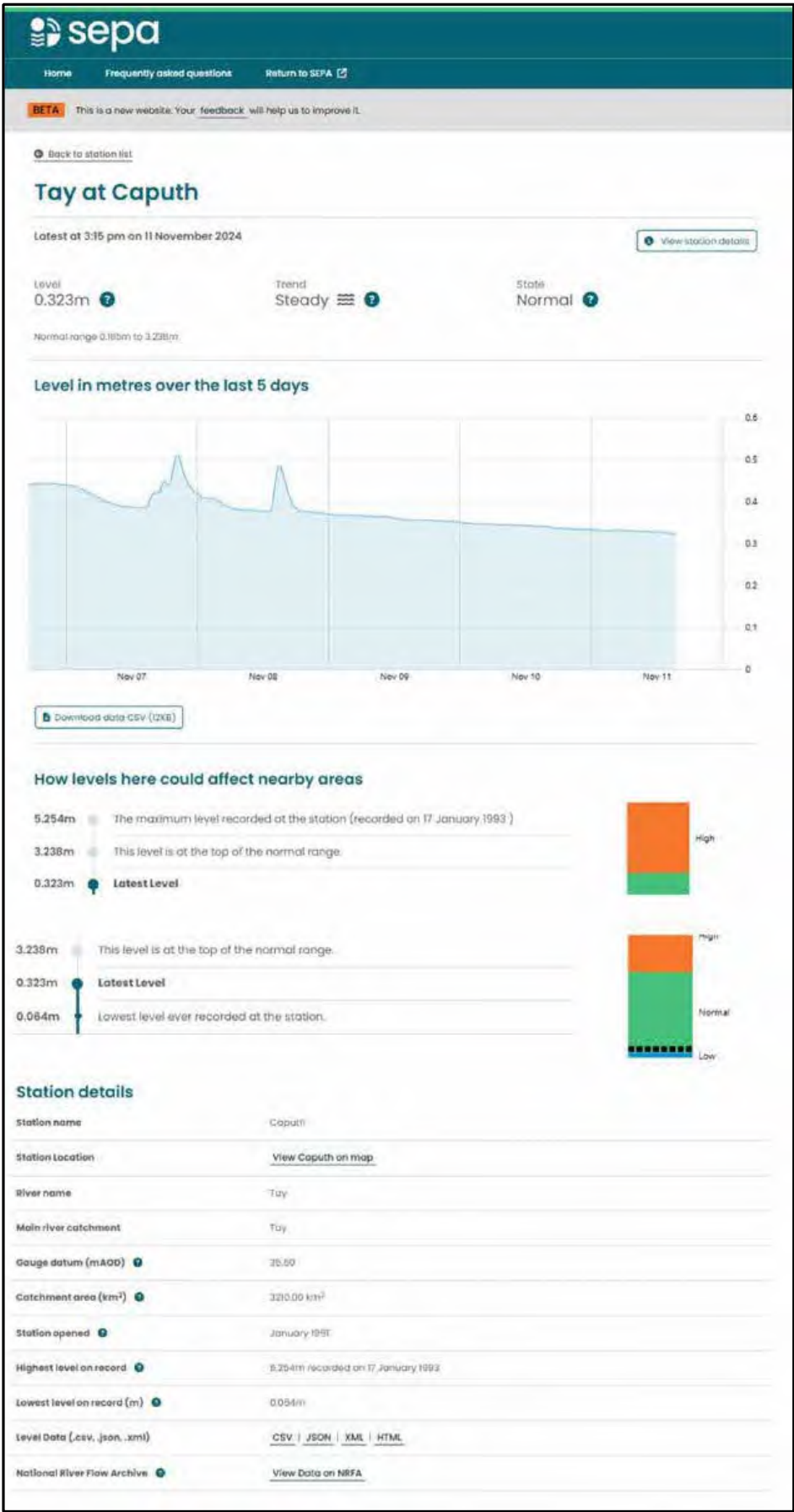


Figure 4.2 - SEPA Station details for Caputh Gauging Station (River Tay Catchment area = 3,210km²)

The AECOM study included an estimation of the Q200 flow at Caputh gauging station (downstream of Boat of Murthly, plus estimates of other tributary flows in the stretch of the Tay between Caputh and Dunkeld, and a multiplication factor to account for the reduction in catchment upstream at Dunkeld compared with the Caputh catchment. Hence, the report includes a reliable estimate of flood flow downstream of Boat of Murthly which has been arrived at in consultation with SEPA, and which can be used for flow estimation at the subject site with the simple calculation for reduced flow based on relative catchments sizes.

Catchment of River Tay at Caputh gauging station = 3,210km²

Catchment of River Tay at Boat of Murthly = 3,204km²

Q200 flowrate at Caputh (based on AECOM study) = 2,098m³/s

Hence,

Q200 at Boat of Murthly based on relative catchment size = ((3,204 x 2,098)/3210)m³/s
= 2,094m³/s

5.0 Predicted Flood Levels

Having estimated flood flows in the River Tay, flood modelling is required to analyse the watercourse channel to see what level the floodwater at the subject site would reach during the critical 0.5% annual probability flood event, including an allowance for climate change, as recommended by SEPA.

5.1 Initial model

The watercourse between the sections is analysed using the HEC-RAS river analysis software, which is generally recognised by the relevant authorities as producing verifiable results. The watercourse has been surveyed on site over the length adjacent to the site and for some distance upstream and downstream. The locations of the cross sections are as set out in Figure 5.1 below.

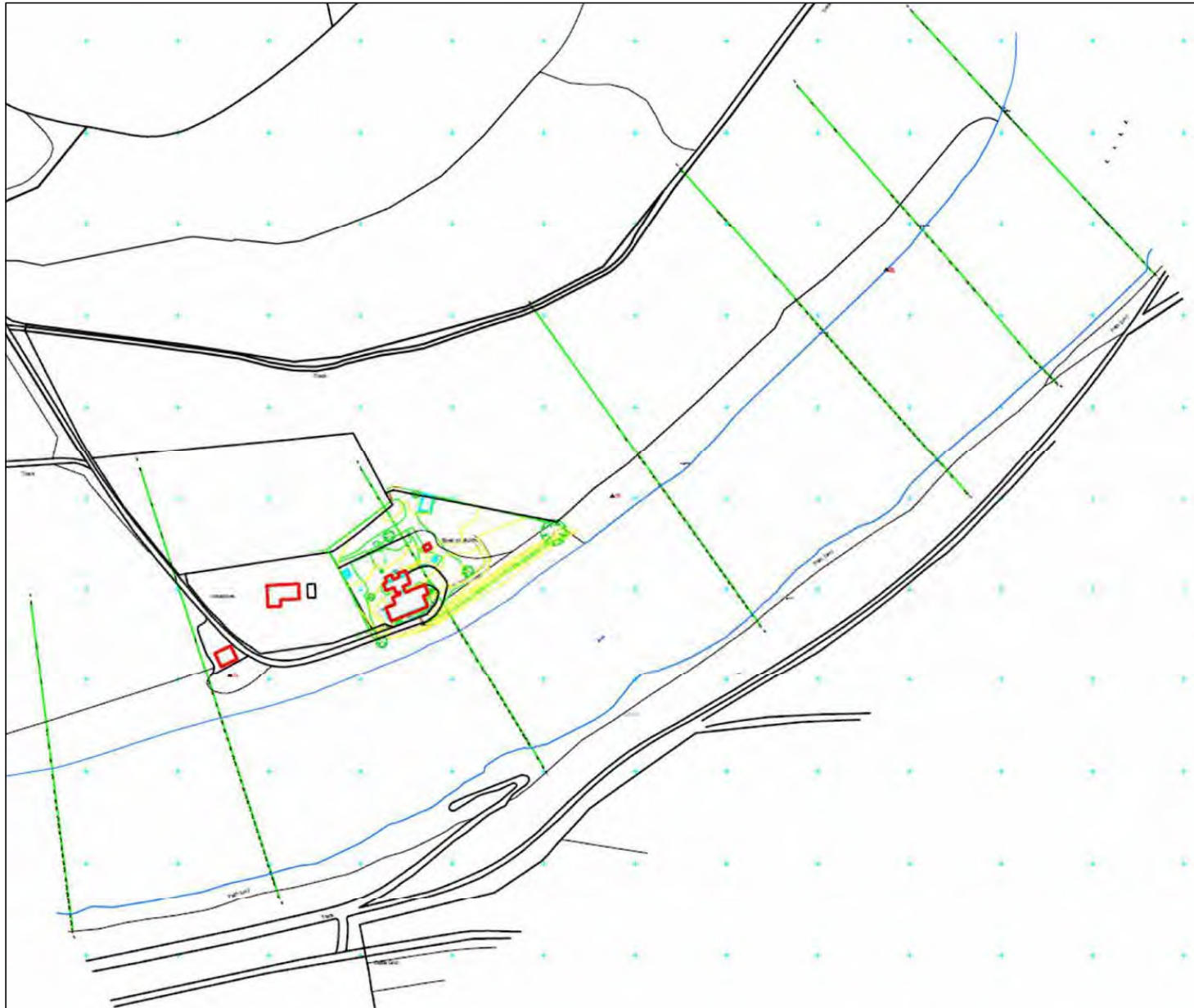


Figure 5.1 – Existing layout overview with cross section locations (excerpt from topographical survey drawing – see Plans section)

Manning's n coefficients were selected for the site based on inspection of existing conditions, and comparison with tabulated descriptors in tables of Manning's values. Hence the following were selected:

- **Main channel:** Stone and weeds, straight, no rifts or deep pools (medium value of $n = 0.035$ applied) This was selected as there are some boulders present but very little or no weeds. Also, although there is a deeper pool at one side over part of the modelled stretch, the majority of the modelled reach does not have a deeper pool, and the short section which is affected only has a deeper channel over a small proportion of the (large) cross section.
- **Floodplains:** Light brush and trees in summer (normal value of $n = 0.060$) –vegetated banks and woodland with light undergrowth on either side of the river.

Once appropriate Manning's values had been selected, boundary conditions were modelled at each end of the modelled length based on:

- downstream - normal depth commensurate with average gradients of water surface (at the downstream end of the surveyed channel, there were adverse gradients, hence this is more representative of hydraulic gradient than the measured bed slope).
- upstream - flowrate

Modelling did not include any inline structures due to the distance to the nearest downstream bridge.

Hence, based on the above, modelling of flow in the River Tay has been carried out, including flow over the floodplains upstream and downstream of the subject site.

Results of the analysis are contained in Appendix D.

The analysis shows the level of the 0.5% plus climate change (Q200+CC) flood level using the flood flows derived above:

Section Number	Q200 Flood Level (m AOD)	Q200 + 53% Flood Level (m AOD)
7	44.16	45.79
6	43.99	45.63
5	43.13	44.2
4	42.83	43.85
3	42.46	43.45
2	42.29	43.27
1	41.93	43

Table 5.1 – Predicted flood levels

The results show that for a 1-in-200-year plus climate change event, flow in the River Tay will be significantly out of bank, particularly on the left bank, where the topography is lower-lying and undulating (on the right bank, the ground rises relatively steeply to above the flood level). For the 1-in-200-year plus climate change flood event, the extent of flooding is significantly greater. Hence, the flood extents on the left bank are estimated for the Q200 and Q200+CC flows, as set out in Drawing AA-317-DD-001 (see Figure 5.2)

From inspection of Figure 5.2, it can be seen that the predicted level at Cross Section 5 is the most relevant for the site and surroundings, as this cross-section location runs through the middle of the site. In order to estimate flood levels upstream and downstream of this point, approximately at the eastern and western boundaries of the site, it was decided to interpolate between the surveyed cross sections

at intervals ranging between 35m and 50m approximately, depending on the size of gap between the surveyed sections. Hence this includes an interpolated cross section 49.3m upstream of Section 5 (which is just upstream of the upstream site boundary and the upstream limit of the existing flood defence bund), and an interpolated section 45.9m downstream of Section 5 (which is just downstream of the downstream of the existing downstream flood defence bund).

The predicted flood levels for the Q200 and Q200+CC flows at the three locations referred to above were used to define the flood levels and extents predicted on site and for the areas immediately upstream and downstream. This is reflected in the flood envelopes shown on Figure 5.2.

Significantly, the predicted flood levels mean that the site would be protected from flooding by the existing flood defence wall and bunds for the existing 1 in 200 year flood, although the predicted future flood due to climate change would overtop the defences (hence inundating the ground floor of the existing house) and would flood the lower parts of the garden, leaving the northern part of the garden and the higher ground beyond flood-free. Hence, access and egress would be available at all times via the access track to the north, but the existing main entrance via the riverside track would be impassable.

Appendix D contains details of the HECRAS analysis, including plots of the watercourse cross-sections and the water surface levels appropriate to the values above.

The predicted flood extents for the Q200 + CC flood flow are indicated in Figure 5.2 below.

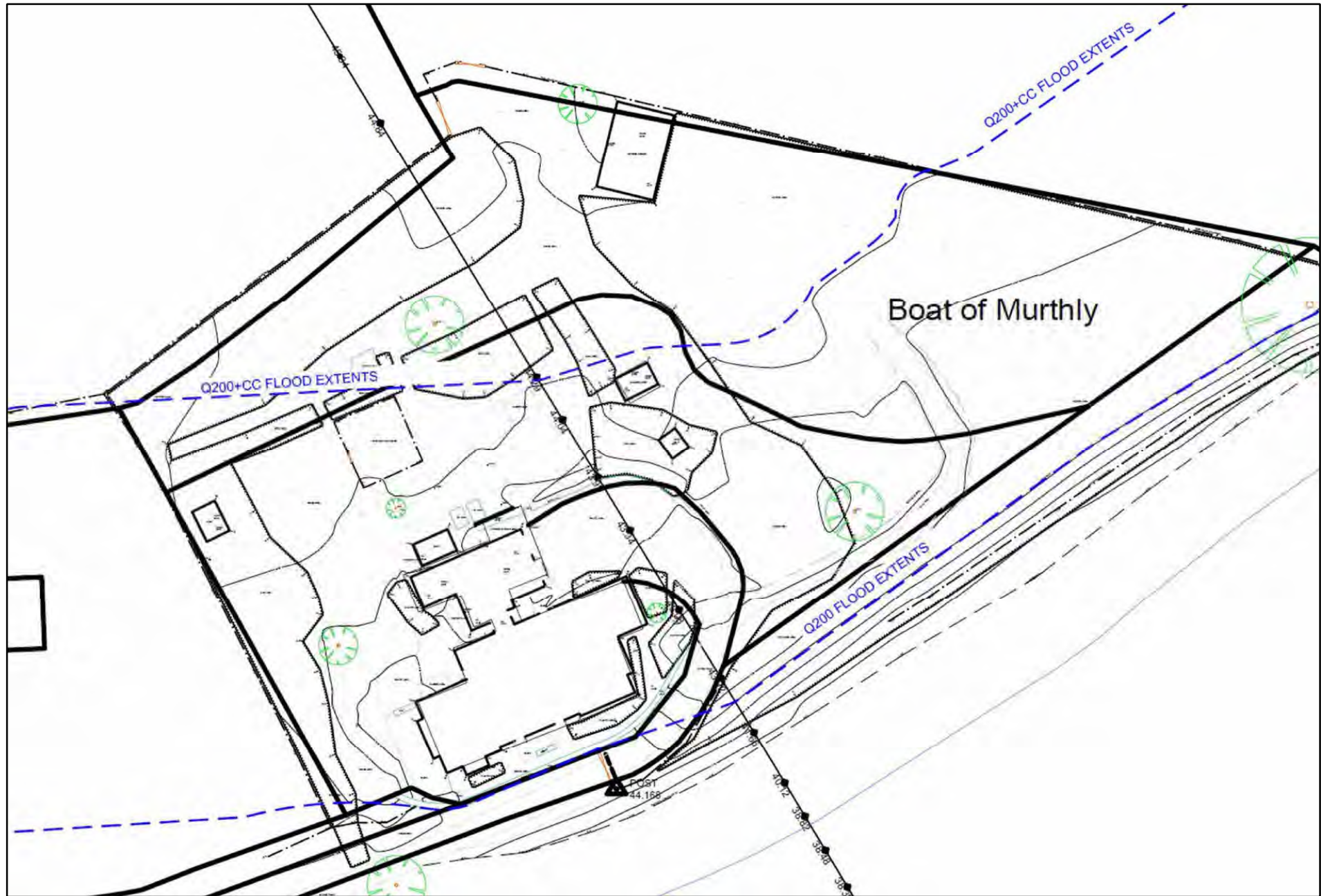


Figure 5.2 - Estimated flood extents, Q200+CC (excerpt from Drawing AA-317-DD-001 –see Plans section)

5.1.1 Sensitivity Analysis

Sensitivity analyses were carried out to check the effect of a variation in flow rate, of variation in Manning's 'n' values, and of variation in downstream boundary conditions.

The following table compares predicted flood levels for the Q200 and Q200 + 53% (Q200 plus climate change) flood events.

Section Number	Flood Level (m AOD)		Variation in level (m)
	Q200	Q200+53%	
7	44.16	45.79	1.63
6	43.99	45.63	1.64
5	43.13	44.2	1.07
4	42.83	43.85	1.02
3	42.46	43.45	0.99
2	42.29	43.27	0.98
1	41.93	43	1.07
7	44.16	45.79	1.63

Table 5.2a – Sensitivity analysis – variation in flowrate

The above results show that an increase in flood flow of 53% would have a significant effect on flow depths. This is unsurprising given the significant proportional increase and shows a moderate sensitivity to changes in flowrate.

Sensitivity of the model to changes in Manning's *n* were tested, by increasing the initial (normal) values for watercourse sections by 0.01:

Section Number	Flood Level (m AOD)		Variation in level (m)
	Q200+CC	Manning's n increased by 0.01	
7	45.79	46.42	0.63
6	45.63	46.19	0.56
5	44.2	45.09	0.89
4	43.85	44.61	0.76
3	43.45	44.22	0.77
2	43.27	44.01	0.74
1	43	43.73	0.73

Table 5.2b – Sensitivity analysis – variation in Manning's n

The above results show that the increase in roughness values results in moderate variation in predicted flood level. However, the chosen values are likely to be a reasonable reflection of flow conditions, and any error in the input Mannings values is anticipated to be significantly less than 0.01.

Sensitivity of the model to changes in the downstream boundary conditions were tested, by increasing the initial gradient determining normal depth by 10%.

Section Number	Flood Level (m AOD)		Variation in level (m)
	Q200+CC	Downstream Gradient increased by 10%	
7	45.79	45.78	-0.01
6	45.63	45.62	-0.01
5	44.2	44.18	-0.02
4	43.85	43.83	-0.02
3	43.45	43.41	-0.04
2	43.27	43.21	-0.06
1	43	42.87	-0.13

Table 5.2c – Sensitivity analysis – variation in downstream gradient

As can be seen in the results above, the increase in downstream gradient would only have a small effect on predicted flood levels, mainly at the downstream end of the modelled reach, and would not significantly affect predicted levels at the site.

5.1.2 Flood levels including bridge blockage scenario

As discussed in Section 3, a blockage scenario is not relevant for this site as there are no hydraulic structures for a significant distance downstream.

6.0 Proposed mitigation and management of flood risk

The results of the flow estimation and flood modelling exercise for the 1 in 200 year, and 1 in 200+CC, flood scenarios indicate that there is a direct flood risk to the site from the River Tay. However, the existing house is at present defended from the 1 in 200 year flood by the existing flood wall and flood defence bunds. The proposed alterations should not result in any increase in vulnerability, and no increase in building footprint within the floodplain. If these guidelines are adhered to, the proposed alterations should be acceptable in this respect.

The proposed alterations are potentially a positive change, as there is an opportunity during major alterations and renovation to increase flood resilience. In doing so, it is important that the footprint of the completed works do not involve any increase in the footprint of the building, as this would represent landraising within the Q200+CC floodplain.

The existing ground floor level of the building, which sits at 42.91m is well below the predicted flood levels for Q200 or Q200+CC, however the building is protected to flood levels in excess of the Q200 event. Hence there is no point in considering any increase in floor level for the existing house or any new extensions. However, there is always the possibility that some flooding to a shallower level could collect in the lower ground around the house (either flood water welling up from under the flood defences, or more likely due to rainfall accumulating when drainage outfalls are closed off). Hence, the use of flood resilient methods and materials in the renovation work (e.g. solid floors where possible, waterproof plasterboard and renders, electrics above dado height on the ground floor, etc) is recommended mainly to address this type of lower level flooding within the defended area.

It is recommended that arrangements are made for a pump to be installed in a chamber below ground level close to the flood wall, so that rainwater can be easily collected and overpumped to the river if rainwater begins to accumulate in the lower part of the garden next to the house.

It is also important to ensure there is no increase in vulnerability associated with the proposed alterations. In this case, the existing building has 5 bedrooms, while the revised building when complete will have 4 bedrooms, hence a decrease in vulnerability.

The existing main access road is subject to significant flood risk and cannot be relied on to give safe access and egress during flood events. However, there is an alternative access on a track through woodland from the gate at the northern end of the site which could be used in an emergency as a pedestrian or vehicular route. It would be desirable but not essential that this became the normal route into the site if the option were available.

A comparison between the existing footprint of the main house and existing annexe, and the proposed alterations (see Figures 2.7 and 2.8, Section 2) show that there will be a slight reduction in the overall footprint of the renovated building. This is summarised as follows, comparing pre- and post-development building footprints, as prepared by the client's architect:

Existing footprint:

- **Total: 324.6m²**, including the existing double garage and ancillary accommodation.

Downtakings:

- Existing Double Garaging & Ancillary Accommodation: 77.1m²
- Existing 1970s Extension: 39.2m²
- Existing Timber Bay Window: 2.4m²
- Total: 118.7m²

Proposal:

- Existing Dwellinghouse [retained footprint] = 205.9m²
- Proposed Rear Extension = 86.9m²

- **Total: 292.8m².** Therefore, the overall proposed footprint is **31.8 m² less** than the existing footprint.

*(In addition, for information, the proposed Double Garage with Plant Room = **114.8 m²** However, this is outwith the floodplain as discussed below)*

Regarding the new garage and plant room building, it would not be acceptable to build this within the defended area, as the defence is not a licensed FPS and is not built to current standards (regarding future flood risk based on current climate change predictions). However, this is clearly not the case as demonstrated by Figure 2.8 were the flood line shown below in Figure 5.2 is replicated on the proposed layout. Hence the proposed new building is acceptable provided there is a freeboard of at least 600mm above the predicted design flood level.

The results of the flow estimation and flood modelling exercise for the 1 in 200 year, and 1 in 200+CC, flood scenarios indicate that there is a direct flood risk to the site from the River Tay. However, the proposed garage and plant room building will be sited on ground which is above the relevant flood level (44.2m AOD), and it is proposed that there will be freeboard of at least 600mm above this level, i.e. the minimum FFL for the new building is 44.8m AOD.

The existing main access road is subject to significant flood risk and cannot be relied on to give safe access and egress during flood events. However, there is an alternative access on a track through woodland from the gate at the northern end of the site which can be used in an emergency as a pedestrian or vehicular route. It would be desirable but not essential that this became the normal route into the site if the option were available.

Regarding the existing main access road, there are proposals to revise the access route over the existing flood bund in order to make the access safer and more usable. However, it is important that this is done in such a way that there is no net loss of flood storage. Hence, a suitable scheme has been agreed, and is set out in Figure 2.8, this route uses cut and fill with small retaining walls to enable the access to climb gradually to the bund crest with no need for any landraising, while ensuring the effective width and height of the existing flood bund is maintained.

7.0 Conclusions

- There is no direct flood risk to the site from the River Tay during a 1 in 200 year flood event (applicable flood level of 43.5m AOD, while the flood defences sit at a crest level of 43.85m)
- For the main building, and immediately upstream of the proposed new building, the predicted Q200+CC design flood level of 44.2m AOD is applicable.
- For the new building, a minimum FFL of 44.8m AOD is recommended (600mm freeboard).
- All building work on the new building should be carried out using water resilient methods and materials.
- It is recommended that the existing flood bund on the upstream side of the house raised where it has slumped or eroded, so that the crest of the embankment matches the nominal height of the flood wall (43.85m AOD). On the downstream side of the flood wall, predicted flood levels are lower, and the current standard of protection will be maintained provided the existing bund crest levels are maintained.
- No increase in existing floor level is recommended for the existing house and revised extensions, but renovations to the existing building and all new extensions should be built using flood resilient methods and materials to minimise damage in the event of the ground floor being inundated to some extent.
- The footprint of the completed works does not involve any increase in the footprint of the building compared with the existing buildings, hence there is no landraising required within the Q200+CC floodplain
- It is recommended that a pump is installed in a chamber below ground level close to the flood wall, so that rainwater can be easily collected and overpumped to the river if rainwater begins to accumulate in the lower part of the garden next to the house during flood events.
- There is no increase in vulnerability associated with the proposed alterations, as the existing building has 5 bedrooms, while the revised building when complete will have 4 bedrooms.
- Pedestrian access to and egress from the site is available in either direction during a design flood.
- Access for emergency vehicles is possible at all times via a woodland track at the rear of the site. It is recommended that, if possible, this becomes the main route of access to the house.
- A suitable minimum upstand to FFL from surrounding ground of, say 200mm should be maintained for all new parts of the building, commensurate with good building practice.

Based on our findings and the above recommendations, it is possible to say that the proposed revised house layout will not be at increased risk of flooding, the new garage and plant room building will not be at risk. The overall development proposals will not cause an increase in flood risk to third party property, and that there will be no resultant loss of flood storage.

We have used our best engineering judgement in this Assessment, and our calculations have been carried out using the Flood Estimation Handbook, WINFAP, HECRAS and other standard hydrological methods. We note that as with all such Flood Risk Assessments the accuracy of the results is only as good as the data and statistical techniques used.

8.0 References

- i. Flood Estimation Handbook, Duncan Reed, CEH Institute of Hydrology, Wallingford, 1999.
- ii. WINFAP-FEH, Version 5, Wallingford Hydrosolutions, 2022
- iii. HEC-RAS, Version 5.0.7, March 2019, US Army Corps of Engineers Hydrologic Engineering Center.
- iv. Revitalised Flood Hydrograph (ReFH2) design package for both catchment and plot scale applications. Version.2.3, Wallingford Hydrosolutions, 2019
- v. Flood Modeller Version 4.5, Jacobs 2019
- vi. Climate change allowances for flood risk assessment in land use planning, SEPA, April 2023
- vii. National Planning Framework 4, Scottish Government, February 2023.
- viii. The Scottish Government (2000), Planning Advice Note PAN 61: Planning and Sustainable Urban Drainage Systems
- ix. The Scottish Government (2004), Planning Advice Note PAN 69: Planning and Building Standards Advice on Flooding
- x. Flood Risk and Land Use Vulnerability. Report LUPS-GU24 Version 4, SEPA, July 2018
- xi. BS 8533-2011 Assessing and Managing Flood Risk in Development Code of Practice4, BSi October 2011
- xii. Dunkeld Flood Protection Study. AECOM, 2023.

APPENDICES

Appendix A

Excerpt from AECOM report (2023) on
Dunkeld Flood Protection Scheme for PKC
(as supplied by Andrew Smith, PKC)

3.2 Tay Catchment Hydrology

Full FEH catchment descriptors and statistical analysis can be found in the Stage 2 report.

The FEH statistical method only provides an estimate of peak flow and does not in itself provide a flood hydrograph. Where a flood hydrograph is required, the FEH suggests a number of alternatives, none of which are satisfactory where large lakes or significant snowmelt contribution alter the catchment response and produce unusual shaped flood hydrographs. The Tay catchment is heavily modified by the hydro-electric schemes upstream which involve abstractions, catchment transfers, and reservoir operation. For this reason, it was felt that the ReFH hydrograph shape would not be representative and would not make best use of the long data record at Caputh. The method presented in *Archer et al (2000)*⁴ was therefore used to derive an appropriate design flood hydrograph shape.

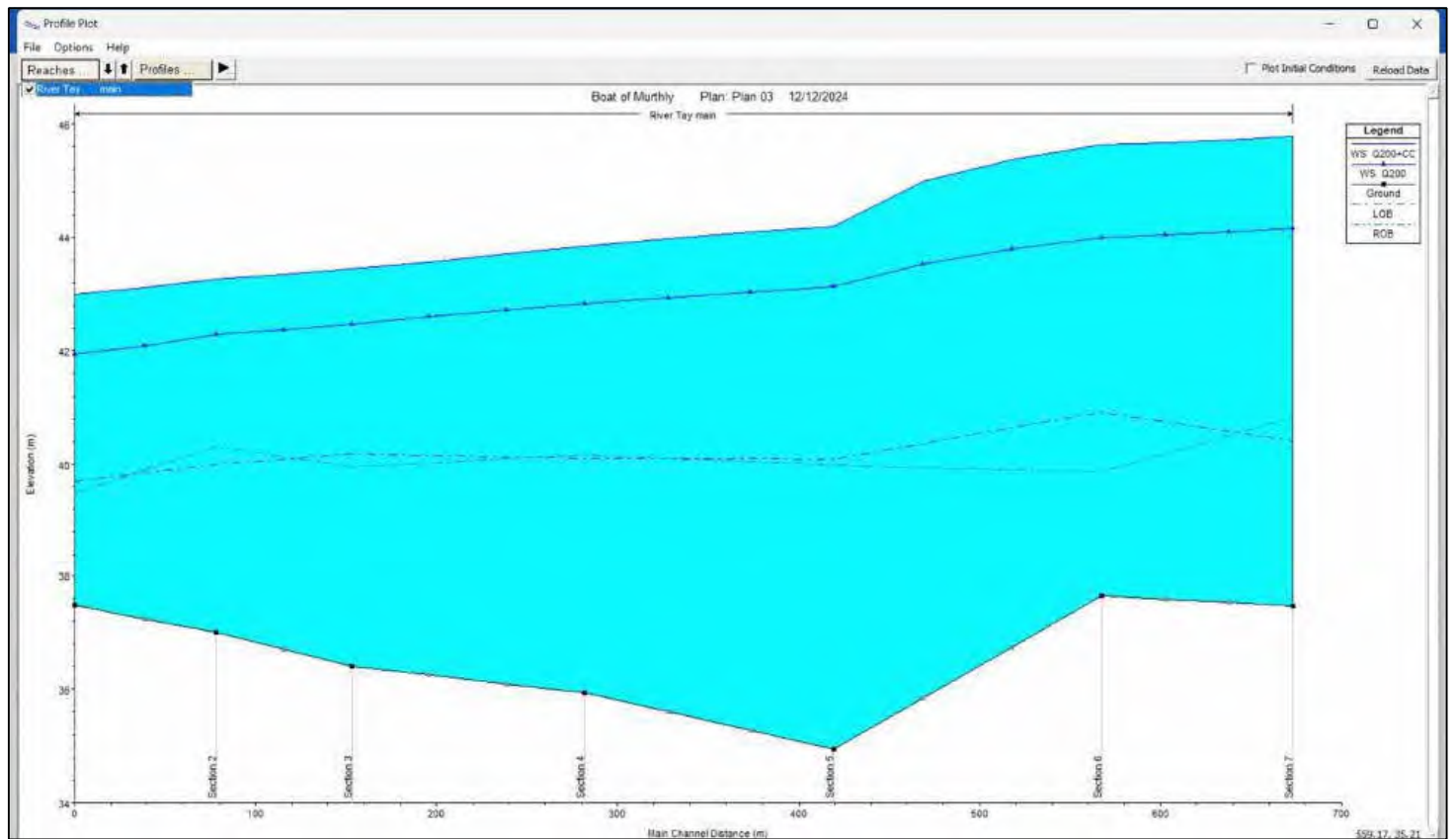
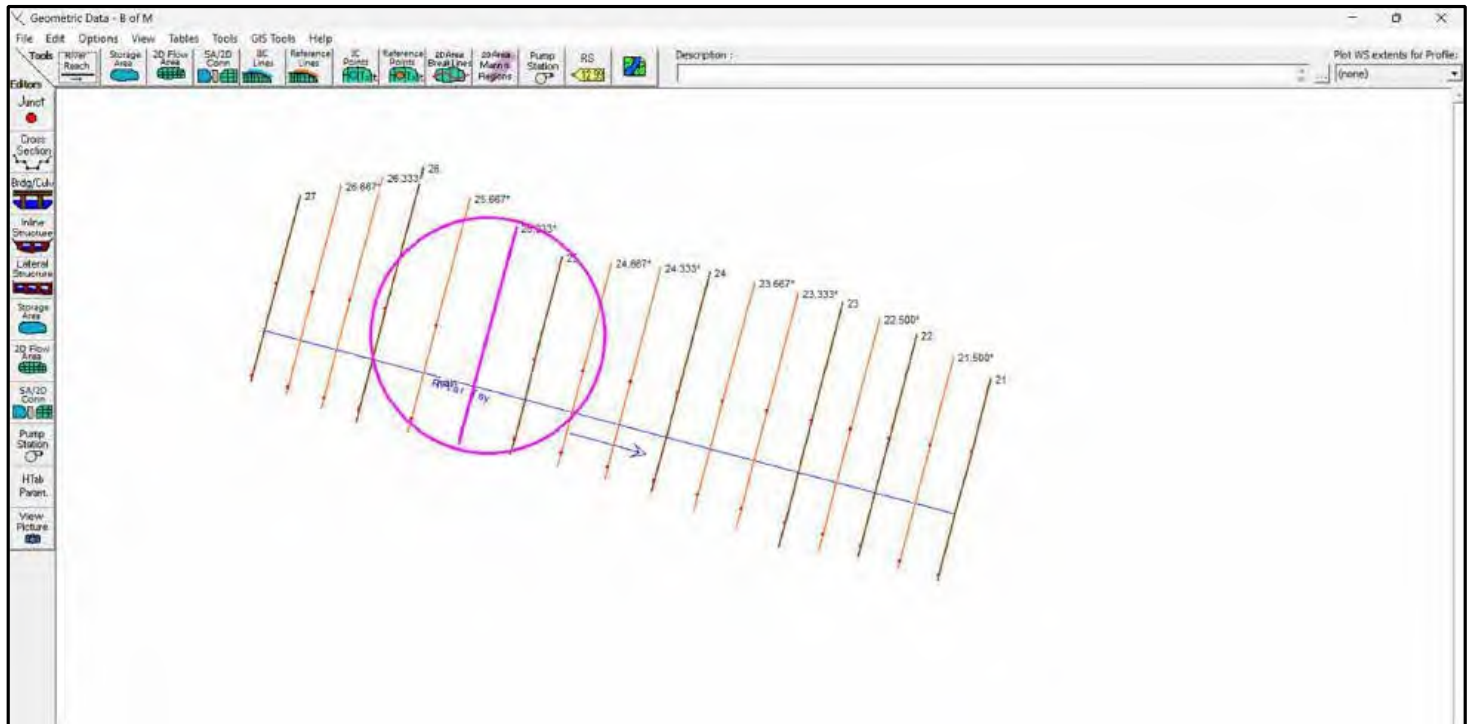
This Archer analysis provides design hydrographs for the downstream end of the model, and thus provides "target" hydrographs for the model to match at the downstream boundary, shown in **Table 3-2**. For model input, a representative hydrograph is required for the Tay upstream of the confluence with the River Braan. In order to derive an upstream model input hydrograph for the Tay, the concurrent hydrograph for the River Braan was subtracted from the Caputh design hydrograph.

Table 3-2: Final design hydrographs on the Tay at Caputh

% flow	Time (mins)	AEP										
		50%	20%	10%	3.33%	3.33% +CC	2%	1.33%	1%	0.5%	0.5% +CC	0.1%
30	0	258	338	393	478	645	518	550	573	629	850	765
40	15.25	344	451	524	637	860	691	734	764	839	1133	1020
50	21.875	430	563	654	797	1076	863	917	955	1049	1416	1274
60	25.125	516	676	785	956	1291	1036	1100	1146	1259	1699	1529
70	27.375	602	789	916	1115	1506	1209	1284	1337	1469	1982	1784
80	30.125	688	901	1047	1275	1721	1381	1467	1528	1678	2266	2039
90	32.125	774	1014	1178	1434	1936	1554	1650	1719	1888	2549	2294
95	33.625	817	1070	1243	1514	2043	1640	1742	1815	1993	2691	2422
100	36.125	860	1127	1309	1593	2151	1727	1834	1911	2098	2832	2549
95	39.125	817	1070	1243	1514	2043	1640	1742	1815	1993	2691	2422
90	40.625	774	1014	1178	1434	1936	1554	1650	1719	1888	2549	2294
80	43.875	688	901	1047	1275	1721	1381	1467	1528	1678	2266	2039
70	48.125	602	789	916	1115	1506	1209	1284	1337	1469	1982	1784
60	58.375	516	676	785	956	1291	1036	1100	1146	1259	1699	1529
50	71.25	430	563	654	797	1076	863	917	955	1049	1416	1274
40	92.875	344	451	524	637	860	691	734	764	839	1133	1020
30	125.875	258	338	393	478	645	518	550	573	629	850	765

Appendix B

Output from HECRAS model



Note River Stations have the prefix “2”, hence RS 27 corresponds to Section 7 and so on.

Profile Output Table - Standard Table 1

File Options Std. Tables Locations Help

HEC-RAS Plan: Plan 03 River: River Tay Reach: main Profile: Q200

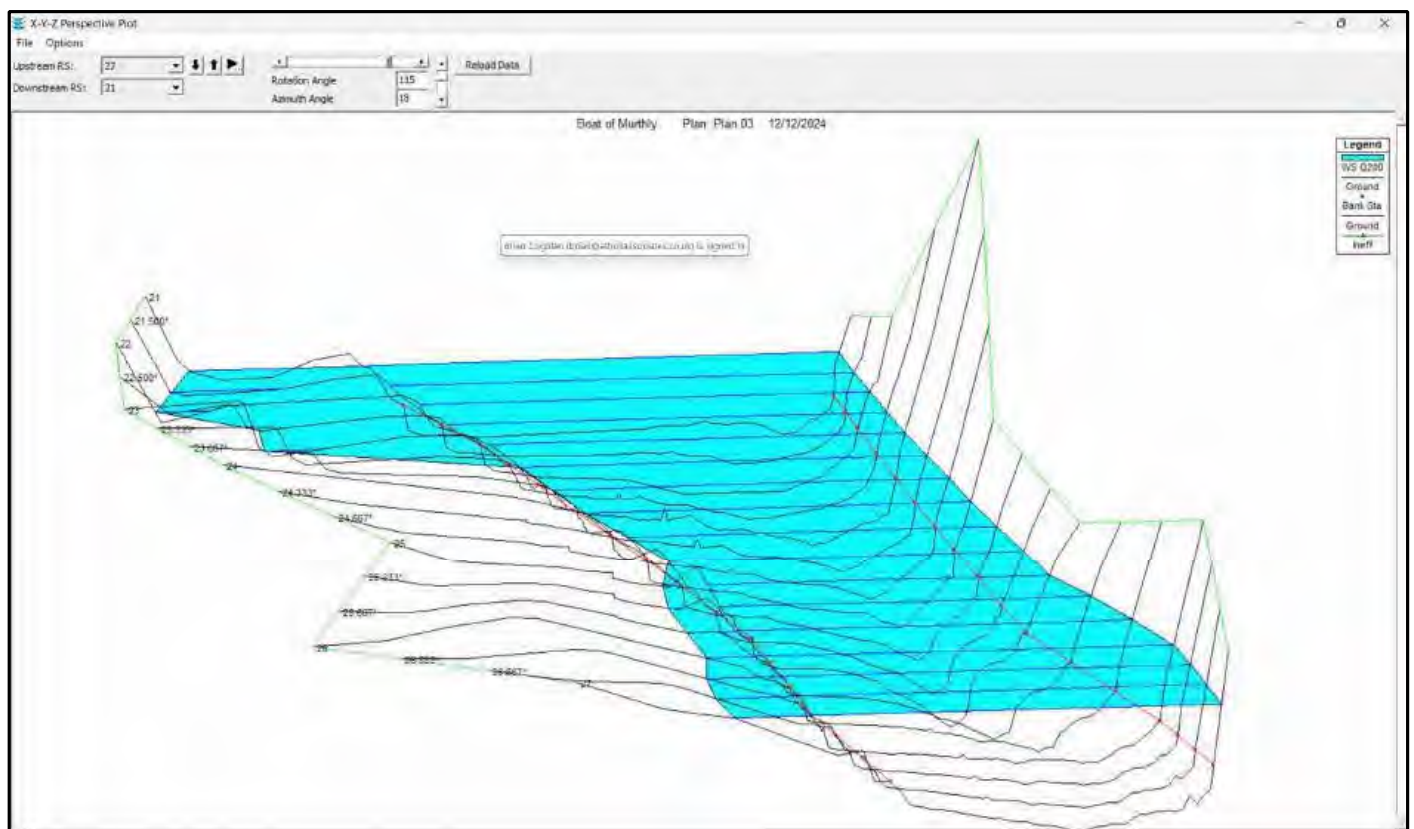
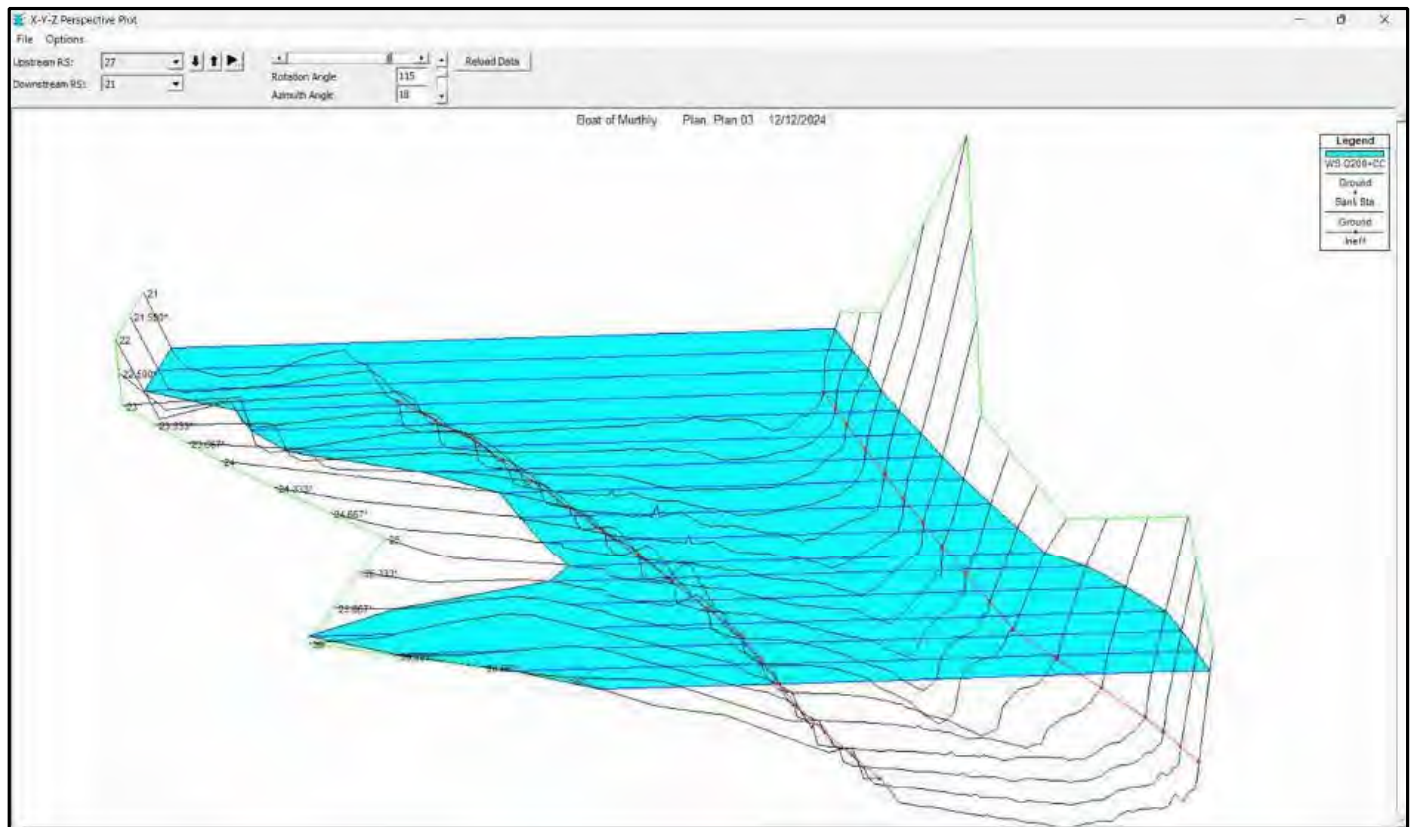
Reach	River Sta	Profile	Q Total (m ³ /s)	Min Ch El (m)	W.S. Elev (m)	Crit W.S. (m)	E.G. Elev (m)	E.G. Slope (m/m)	Vel Chnl (m/s)	Flow Area (m ²)	Top Width (m)	Froude # Ch
main	27	Q200	2094.00	37.47	44.16	42.13	44.91	0.001809	3.69	597.28	135.14	0.52
main	26.667*	Q200	2094.00	37.53	44.10		44.84	0.001799	3.86	593.27	136.38	0.51
main	26.333*	Q200	2094.00	37.58	44.04		44.78	0.001782	3.82	588.80	134.60	0.51
main	26	Q200	2094.00	37.64	43.98		44.71	0.001753	3.76	587.24	129.87	0.51
main	25.667*	Q200	2094.00	36.74	43.80		44.61	0.001967	4.01	550.91	116.36	0.54
main	25.333*	Q200	2094.00	35.84	43.54		44.49	0.002337	4.35	508.70	108.26	0.58
main	25	Q200	2094.00	34.94	43.13	41.89	44.33	0.003106	4.89	452.87	97.14	0.66
main	24.667*	Q200	2094.00	35.27	43.03		44.17	0.002969	4.76	464.57	98.67	0.65
main	24.333*	Q200	2094.00	35.60	42.94		44.02	0.002891	4.65	474.63	102.68	0.64
main	24	Q200	2094.00	35.93	42.83		43.88	0.002862	4.56	482.96	107.38	0.63
main	23.667*	Q200	2094.00	36.09	42.72		43.75	0.002919	4.51	484.82	110.52	0.64
main	23.333*	Q200	2094.00	36.25	42.60		43.62	0.003038	4.48	484.74	115.30	0.65
main	23	Q200	2094.00	36.41	42.46		43.48	0.003240	4.48	484.04	120.63	0.66
main	22.500*	Q200	2094.00	36.70	42.37		43.35	0.003115	4.39	494.47	122.71	0.65
main	22	Q200	2094.00	36.99	42.29		43.22	0.003016	4.30	511.86	140.83	0.64
main	21.500*	Q200	2094.00	37.24	42.08		43.08	0.003689	4.45	488.41	160.94	0.70
main	21	Q200	2094.00	37.46	41.93	41.19	42.93	0.004000	4.45	491.43	162.75	0.72

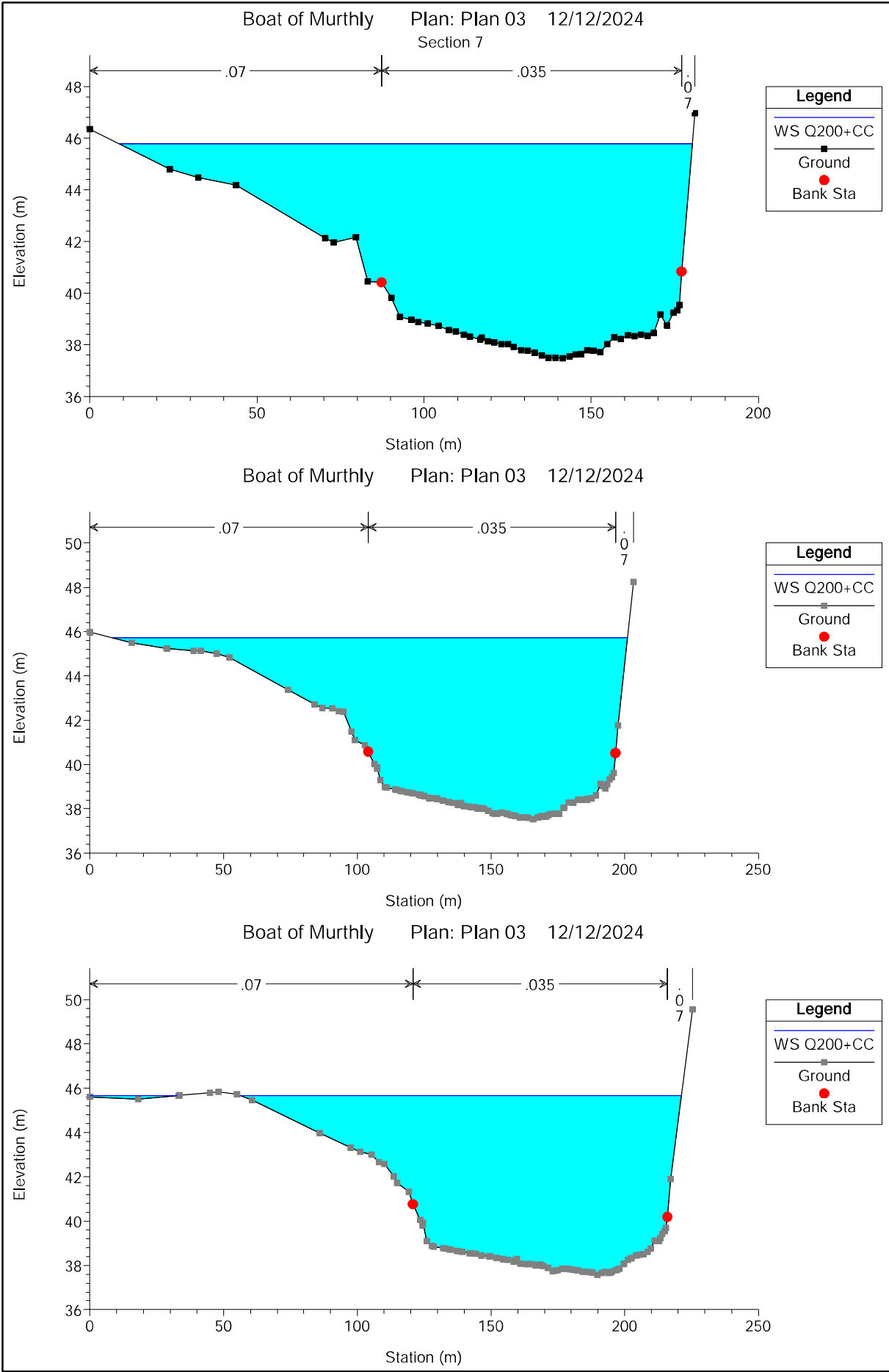
Profile Output Table - Standard Table 1

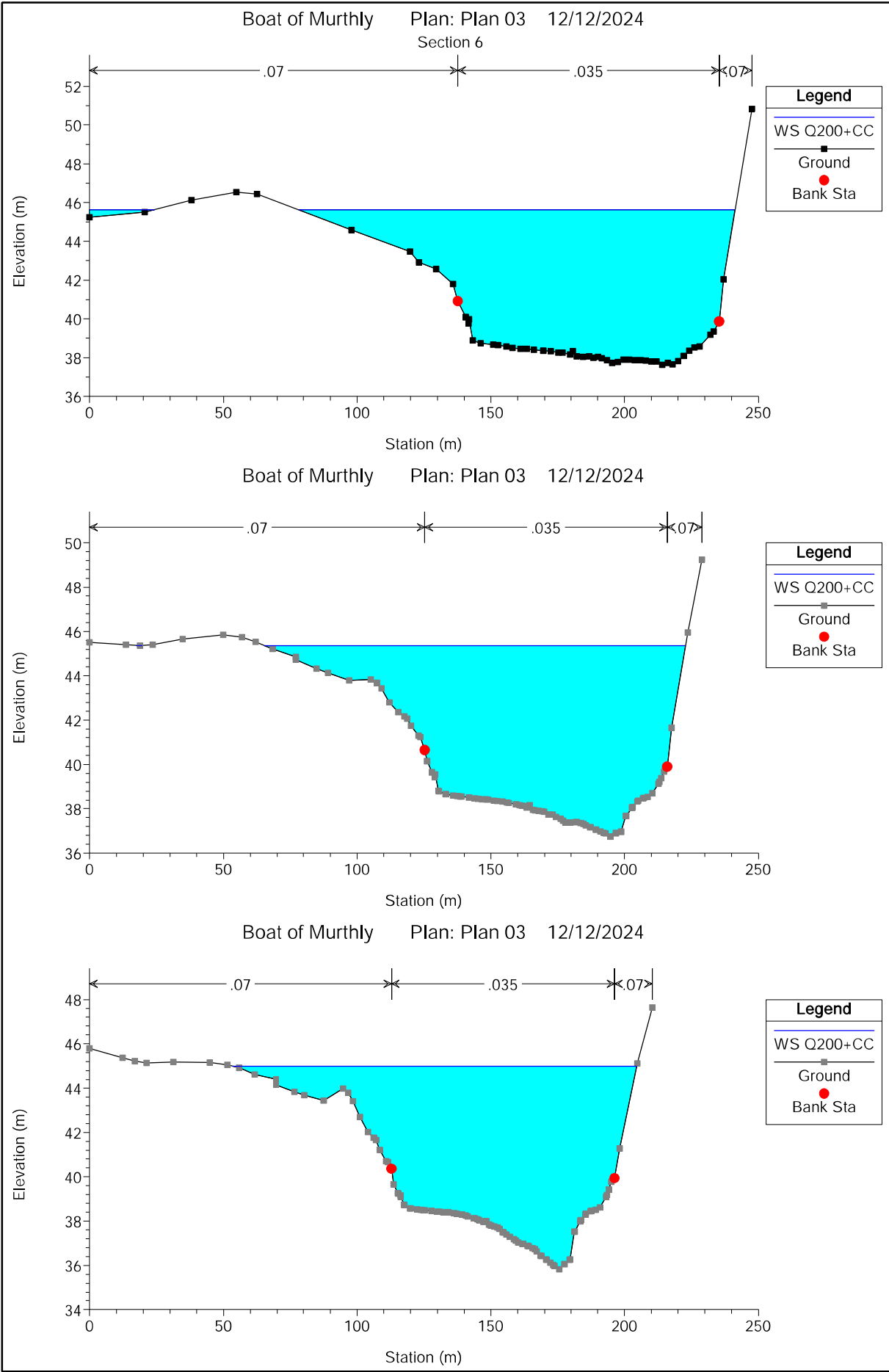
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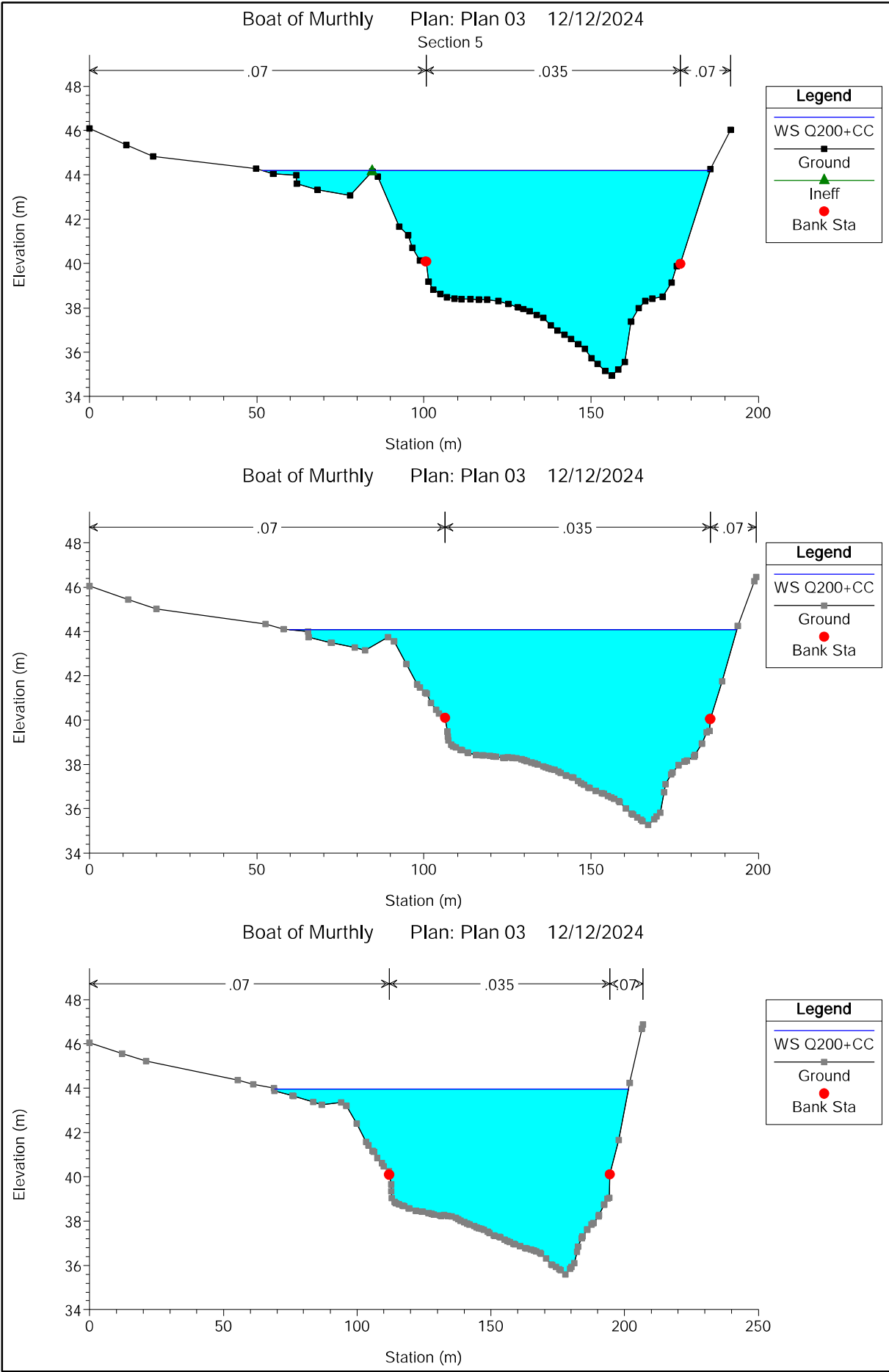
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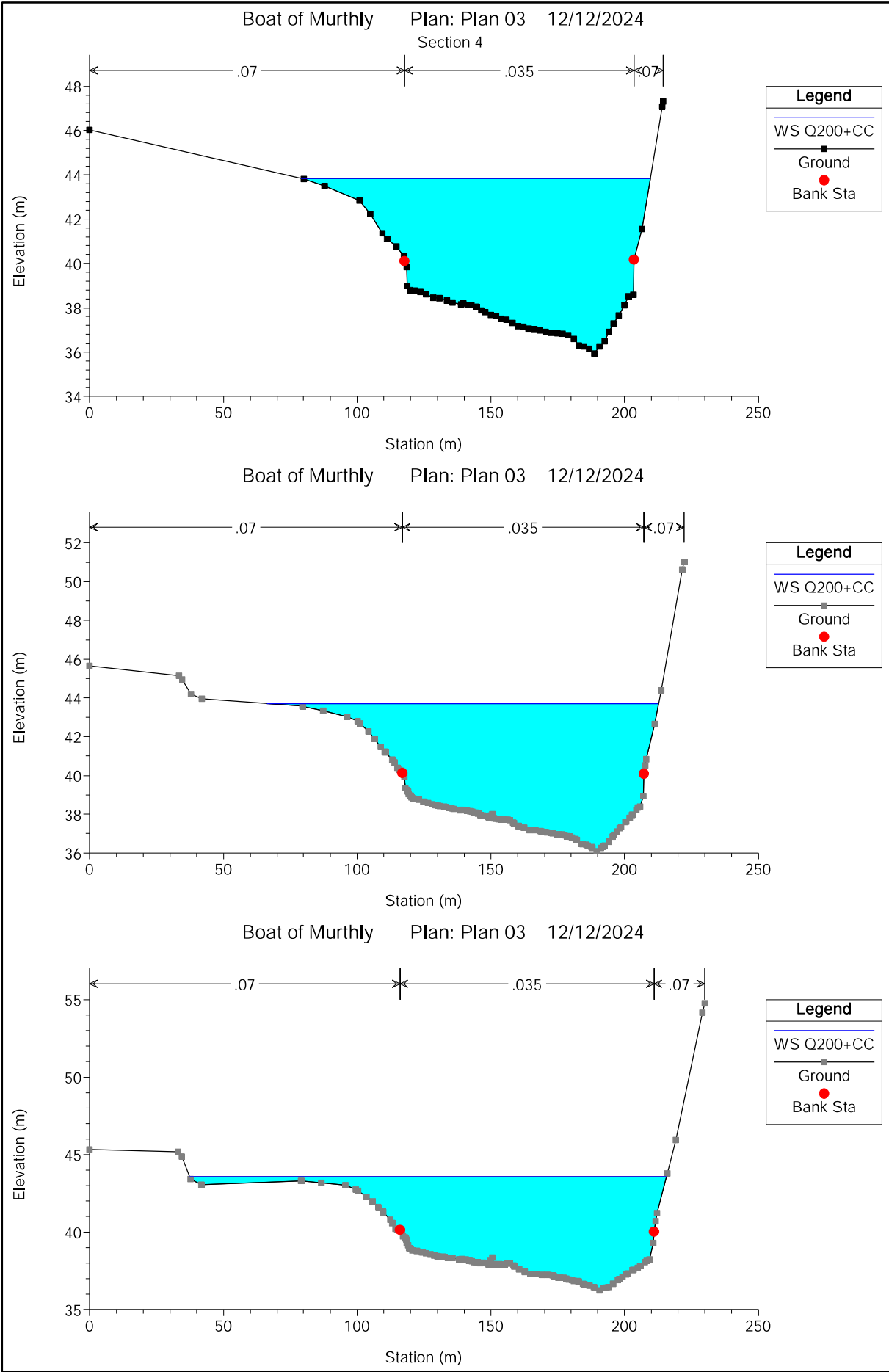
Reach	River Sta	Profile	Q Total (m ³ /s)	Min Ch El (m)	W.S. Elev (m)	Crit W.S. (m)	E.G. Elev (m)	E.G. Slope (m/m)	Vel Chnl (m/s)	Flow Area (m ²)	Top Width (m)	Froude # Ch
main	27	Q200+CC	3204.00	37.47	45.79	43.46	46.77	0.001753	4.52	852.74	171.74	0.53
main	26.667*	Q200+CC	3204.00	37.53	45.72		46.71	0.001761	4.50	848.76	192.52	0.53
main	26.333*	Q200+CC	3204.00	37.58	45.68		46.64	0.001714	4.43	836.08	197.79	0.52
main	26	Q200+CC	3204.00	37.64	45.63		46.57	0.001685	4.37	832.25	187.28	0.52
main	25.667*	Q200+CC	3204.00	36.74	45.37		46.47	0.001967	4.72	772.17	160.05	0.56
main	25.333*	Q200+CC	3204.00	35.84	44.99		46.33	0.002475	5.22	701.69	151.15	0.62
main	25	Q200+CC	3204.00	34.94	44.20	43.28	46.12	0.003964	6.22	576.92	134.01	0.77
main	24.667*	Q200+CC	3204.00	35.27	44.09	43.12	45.92	0.003802	6.06	587.25	133.85	0.76
main	24.333*	Q200+CC	3204.00	35.60	43.97	42.94	45.72	0.003704	5.91	596.36	132.59	0.75
main	24	Q200+CC	3204.00	35.93	43.85	42.80	45.53	0.003668	5.80	603.28	130.56	0.74
main	23.667*	Q200+CC	3204.00	36.09	43.70	42.71	45.36	0.003753	5.75	605.34	146.46	0.74
main	23.333*	Q200+CC	3204.00	36.25	43.57	42.63	45.19	0.003837	5.68	621.14	179.29	0.75
main	23	Q200+CC	3204.00	36.41	43.45	42.59	45.00	0.003876	5.57	644.14	182.53	0.75
main	22.500*	Q200+CC	3204.00	36.70	43.34	42.45	44.85	0.003777	5.49	649.83	181.74	0.74
main	22	Q200+CC	3204.00	36.99	43.27	42.34	44.68	0.003577	5.33	689.02	204.03	0.72
main	21.500*	Q200+CC	3204.00	37.24	43.12	42.39	44.53	0.003941	5.34	677.54	195.27	0.75
main	21	Q200+CC	3204.00	37.46	43.00	42.30	44.36	0.004004	5.23	681.13	186.84	0.75

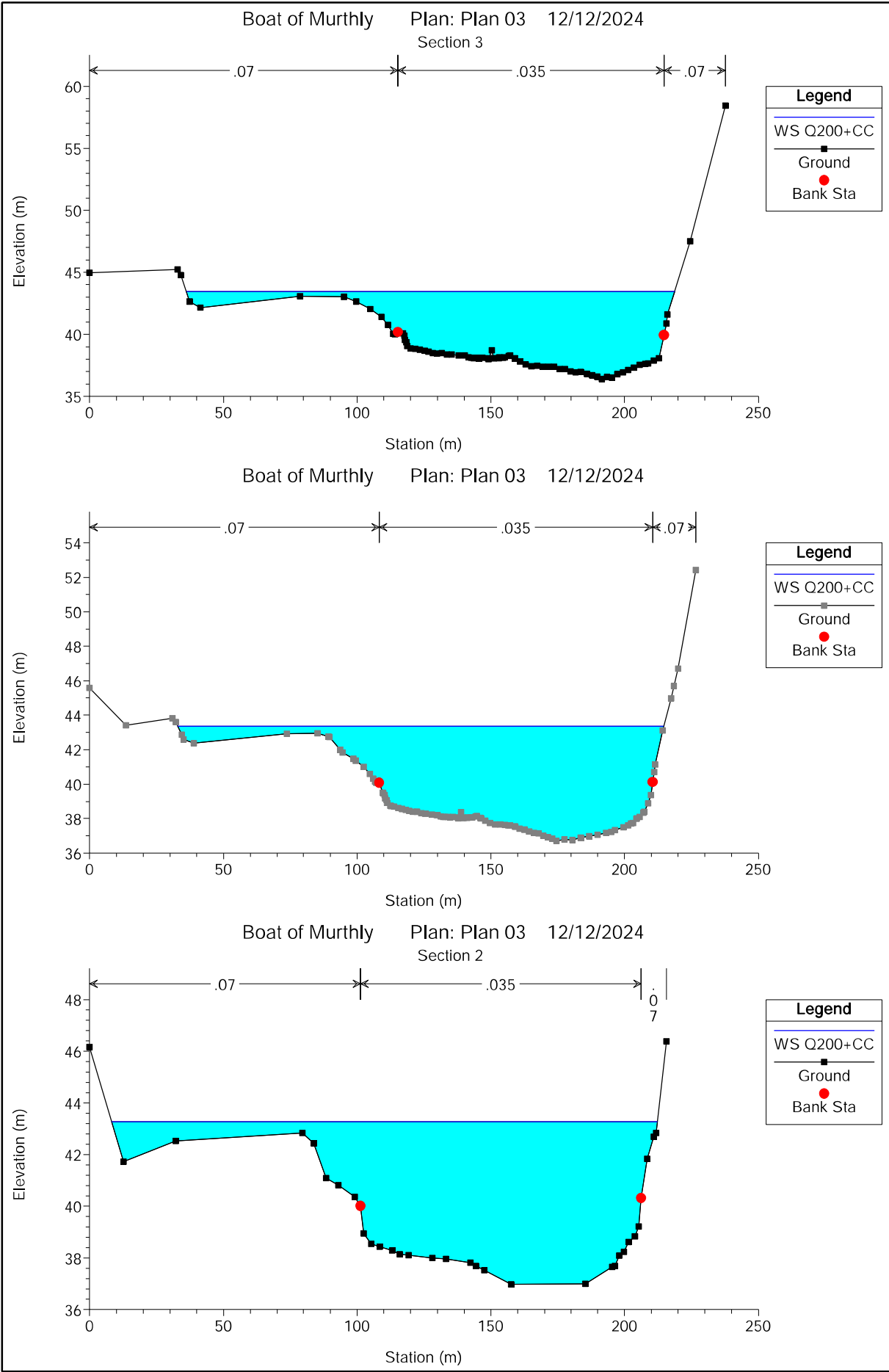




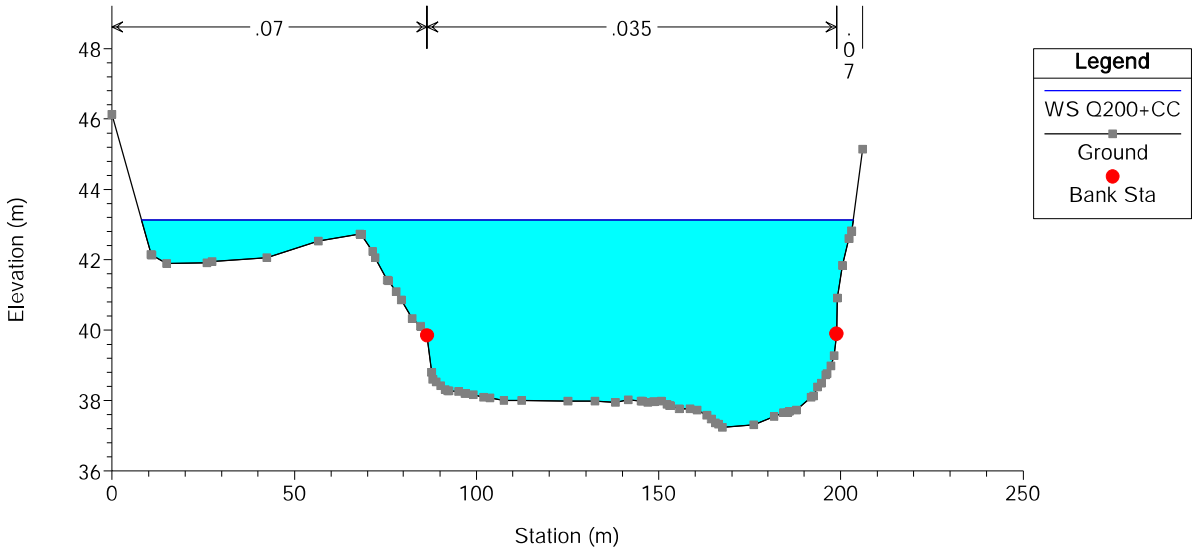




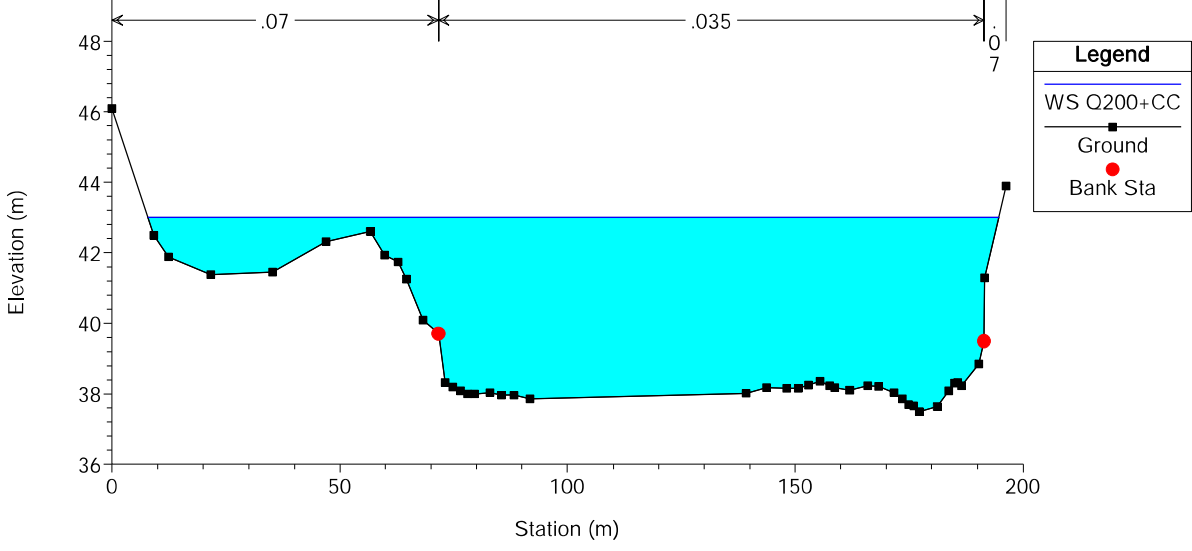




Boat of Murthly Plan: Plan 03 12/12/2024

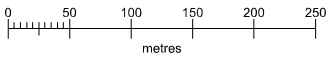
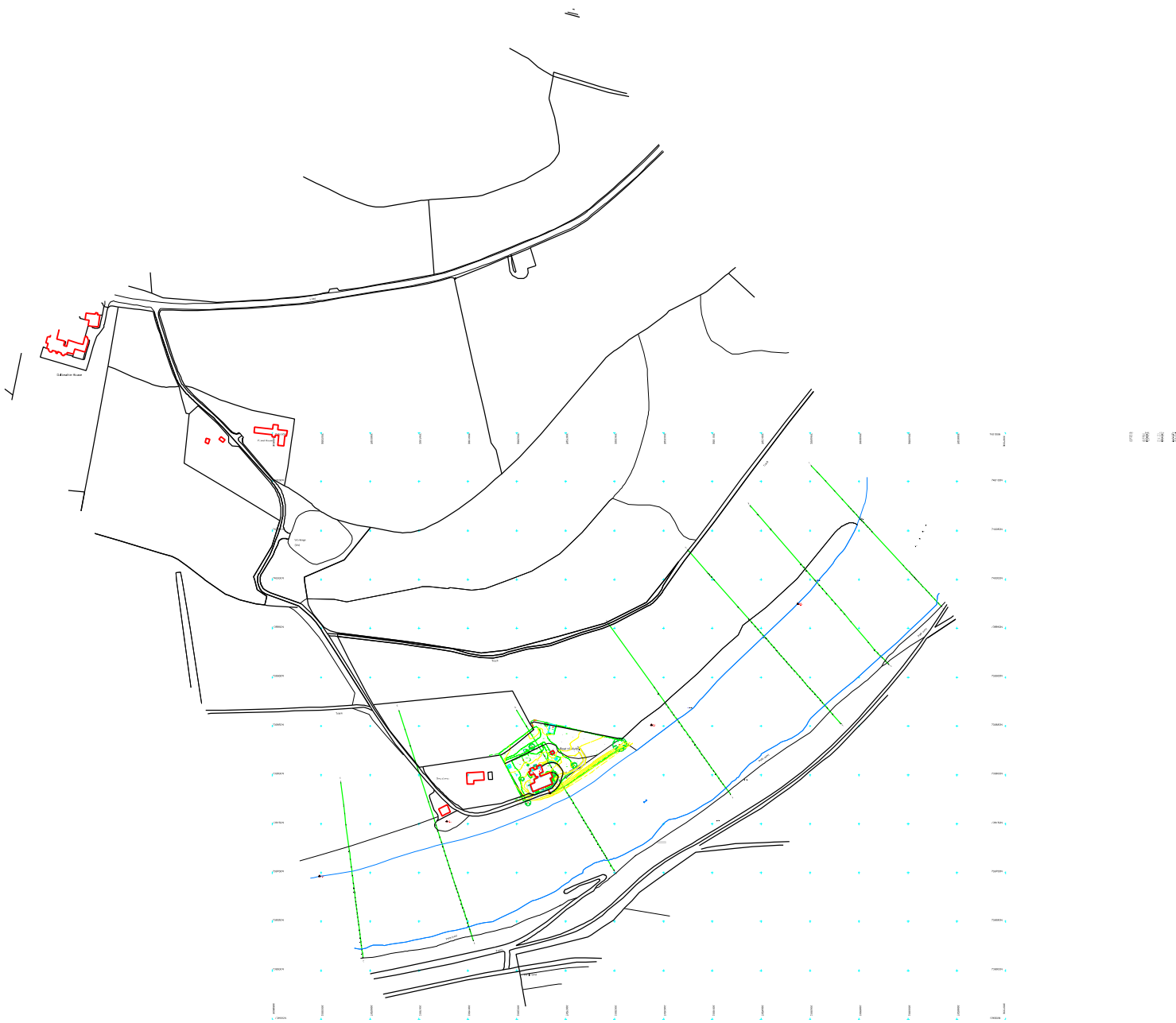


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Section 1



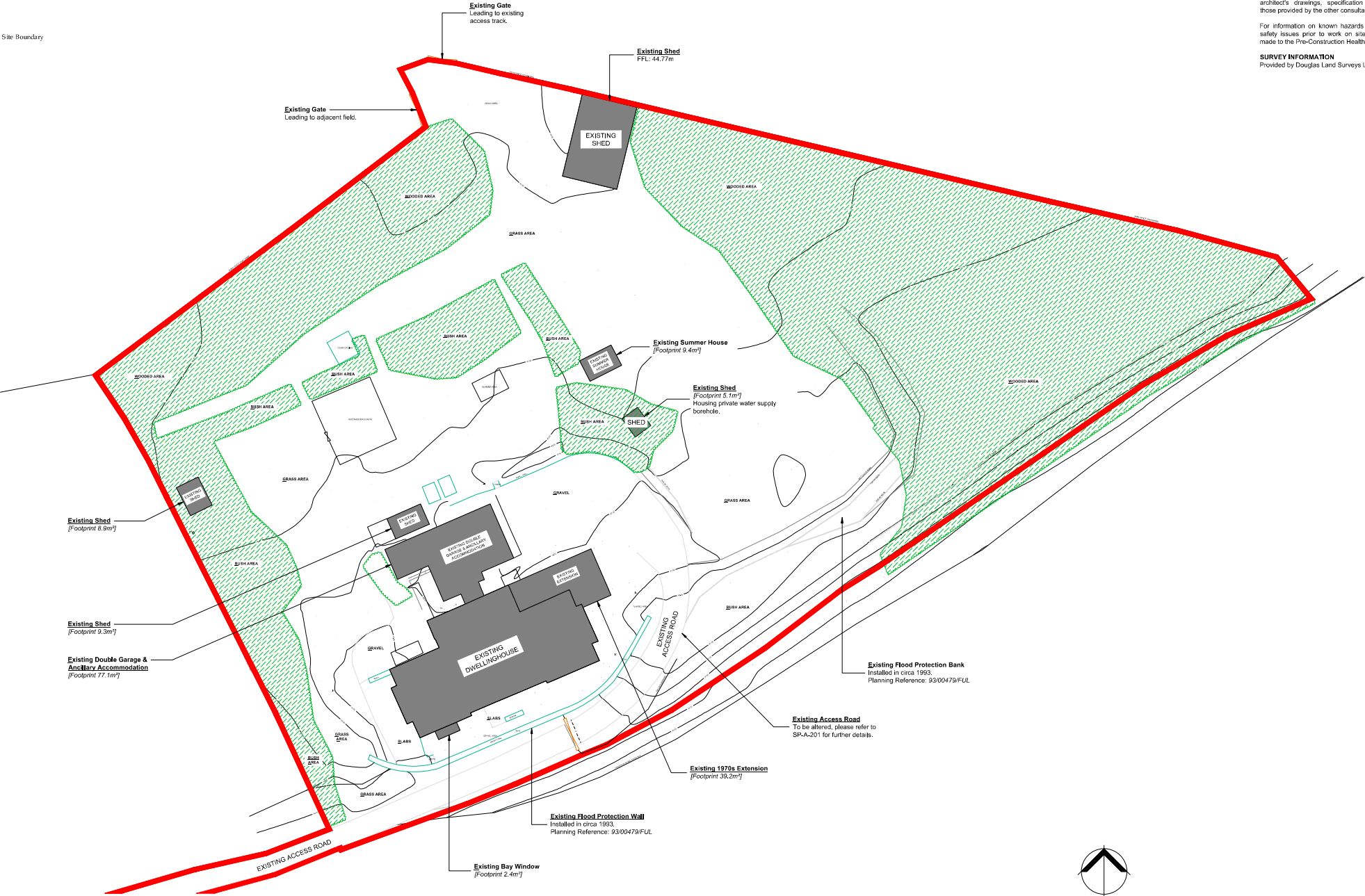
PLANS





Boat of Murthly, Dunkeld
Dwellinghouse: Existing Site Plan

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Site Boundary

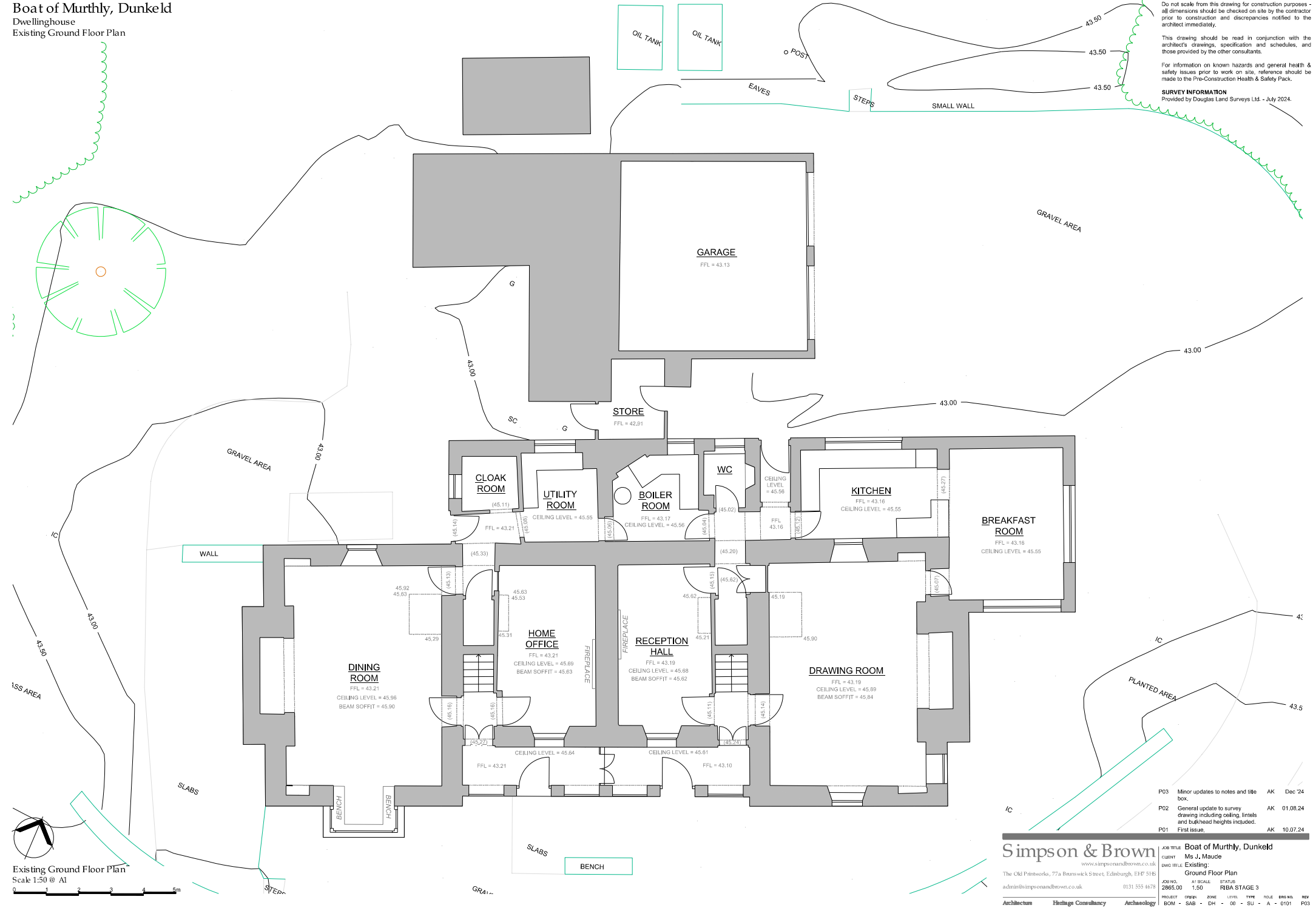


NOTE
Do not scale from this drawing for construction purposes - all dimensions should be checked on site by the contractor prior to construction and discrepancies notified to the architect immediately.
This drawing should be read in conjunction with the architect's drawings, specification and schedules, and those provided by the other consultants.
For information on known hazards and general health & safety issues prior to work on site, reference should be made to the Pre-Construction Health & Safety Pack.
SURVEY INFORMATION
Provided by Douglas Land Surveys Ltd - July 2024.

Existing Site Plan
Scale 1:200 @ A1



Boat of Murthly, Dunkeld
Dwellinghouse
Existing Ground Floor Plan



Existing Ground Floor Plan
Scale 1:50 @ A1

Simpson & Brown
The Old Printworks, 77a Brunswick Street, Edinburgh, EH7 5JH
admin@simpsonandbrown.co.uk 0131 555 4678

Job Title Boat of Murthly, Dunkeld
Client Ms J. Maude
DWG Title Existing:
Ground Floor Plan

Job No. 2865_00
Project BOM - SAB - DH - 00 - SU - A - 0101
Rev P03

AK Dec '24
AK 01.08.24
AK 10.07.24

AK 10.07.24

Scale 1:50
Stage RIBA STAGE 3

Architect Simpson & Brown
Heritage Consultancy Simpson & Brown
Archaeology Simpson & Brown

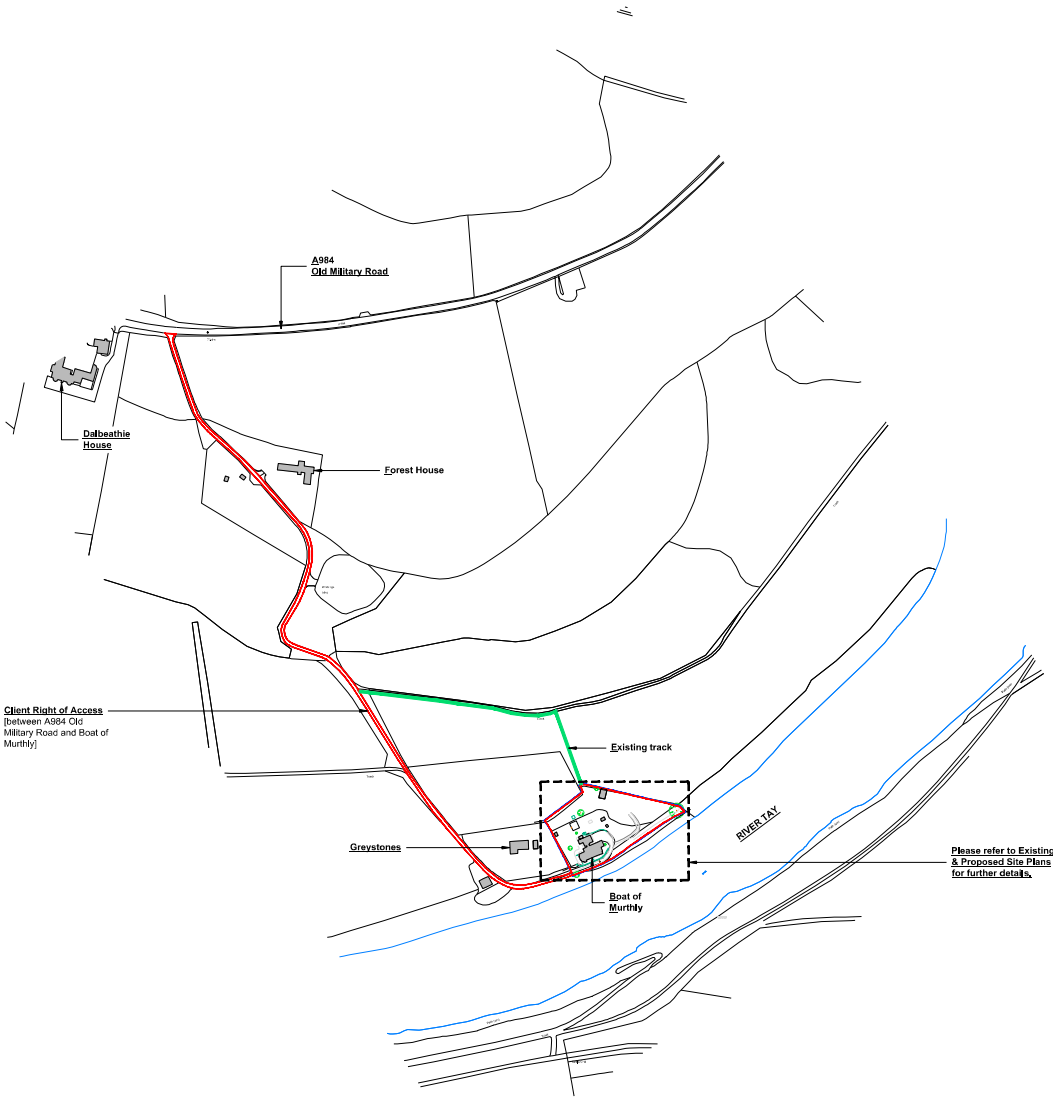
Boat of Murthly, Dunkeld
Dwellinghouse: Location Plan

KEY
Ownership Boundary
Site Boundary



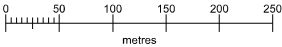
Rural Location Plan
Scale 1:25,000 @ A1
© Open Street Maps

Application Site
The Boat of Murthly
DUNKELD
PH8 0JA



Serial number: 294639
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Location Plan
Scale 1:2500 @ A1



NOTE
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This drawing should be read in conjunction with the architect's drawings, specification and schedules, and those provided by the other consultants.

For information on known hazards and general health & safety issues prior to work on site, reference should be made to the Pre-Construction Health & Safety Pack.

P03	Minor updates to drawing for re-submission.	AK	14.05.25
P02	Existing access track to north of site shown.	AK	Mar '25
P01	First issue.	AK	Dec' 24

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Architecture Heritage Consultancy Archaeology

JOB TITLE	Boat of Murthly, Dunkeld
CLIENT	Ms J. Maude
DWG TITLE	Dwellinghouse:
	Location Plans
JOB NO.	2865_00
AT SCALE	Varies
STATUS	RIBA STAGE 3
PROJECT	BOM
DESIGN	SAB
ZONE	DH
LEVEL	XX
TYPE	LP
ROLE	A
DWG NO.	0101
REV	P03

Boat of Murthly, Dunkeld

Dwellinghouse: Existing Site Plan [with downtakings]

KEY

Site Boundary

Downtakings

EXISTING FOOTPRINT

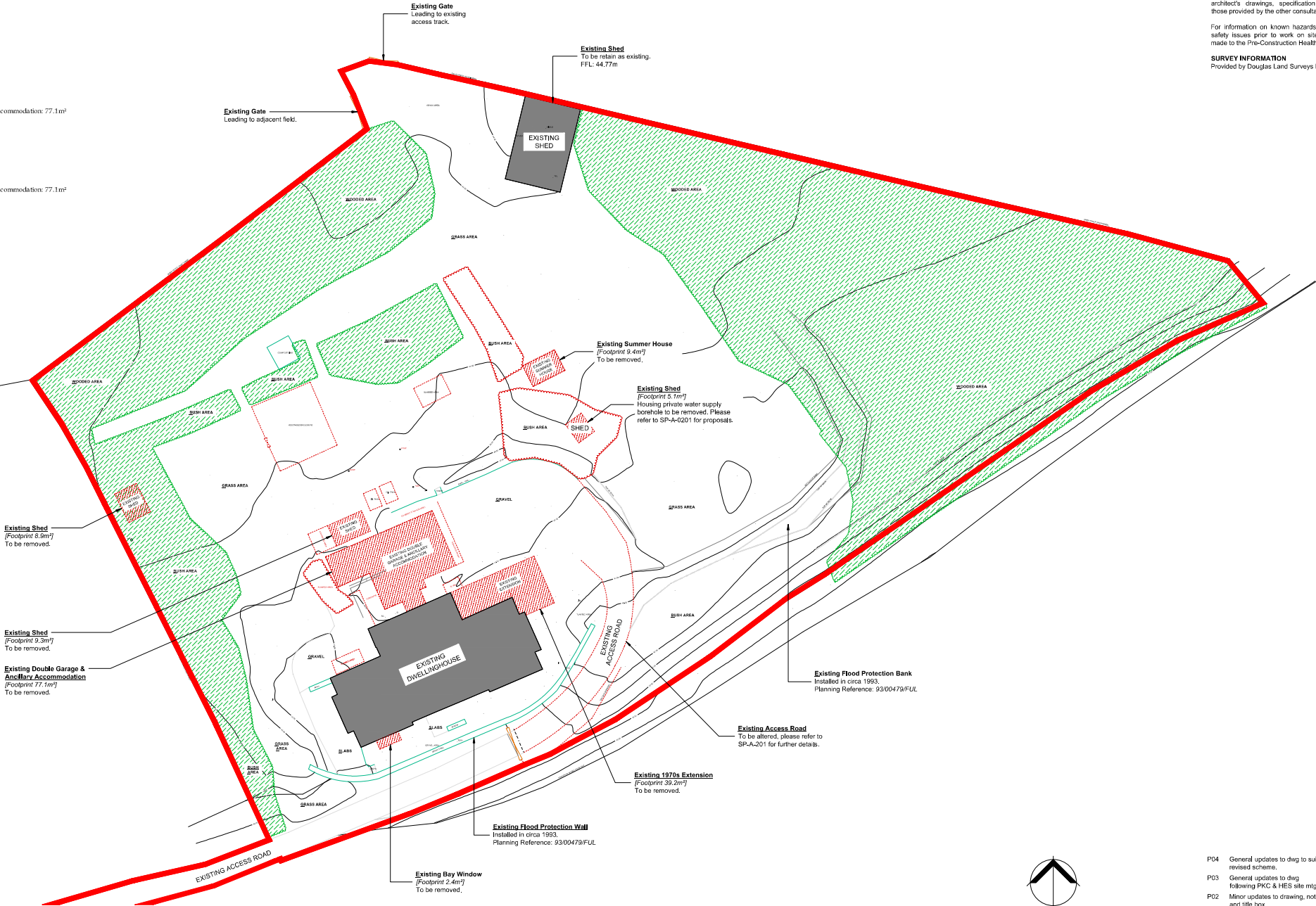
Existing Dwellinghouse: 205.9m²
Existing Double Garaging & Ancillary Accommodation: 77.1m²
Existing 1970s Extension: 39.2m²
Existing Timber Bay Window: 2.4m²

Total: 324.6m²
[excluding smaller sheds / summer house]

DOWNTAKINGS

Existing Double Garaging & Ancillary Accommodation: 77.1m²
Existing 1970s Extension: 39.2m²
Existing Timber Bay Window: 2.4m²

Total: 118.7m²
[excluding smaller sheds / summer house]



NOTE
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SURVEY INFORMATION
Provided by Douglas Land Surveys Ltd. - July 2024.

Existing Site Plan
Scale 1:200 @ A1

0 5 10 15 20 25m



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admin@simpsonandbrown.co.uk 0131 555 4678

Architecture Heritage Consultancy Archaeology

P04	General updates to dwg to suit revised scheme.	AK	14.05.25
P03	General updates to dwg following PKG & HES site mtg.	AK	Mar '25
P02	Minor updates to drawing, notes and title box.	AK	Dec '24
P01	First issue.	AK	27.11.24

JOB TITLE	Boat of Murthly, Dunkeld
CLIENT	Ms J. Maude
DWG TITLE	Dwellinghouse: Existing Site Plan [with downtakings]
JOB NO.	2865_00
PROJECT	BOM - SAB - DH - XX - SP - A - 0101
SCALE	1:200
STAGE	RIBA STAGE 3
DATE	27.11.24
REV	P04

Boat of Murthly, Dunkeld
Dwellinghouse: Proposed Site Plan

KEY

Site Boundary

Proposed New Build / Extension

PROPOSED DWELLINGHOUSE
FOOTPRINT

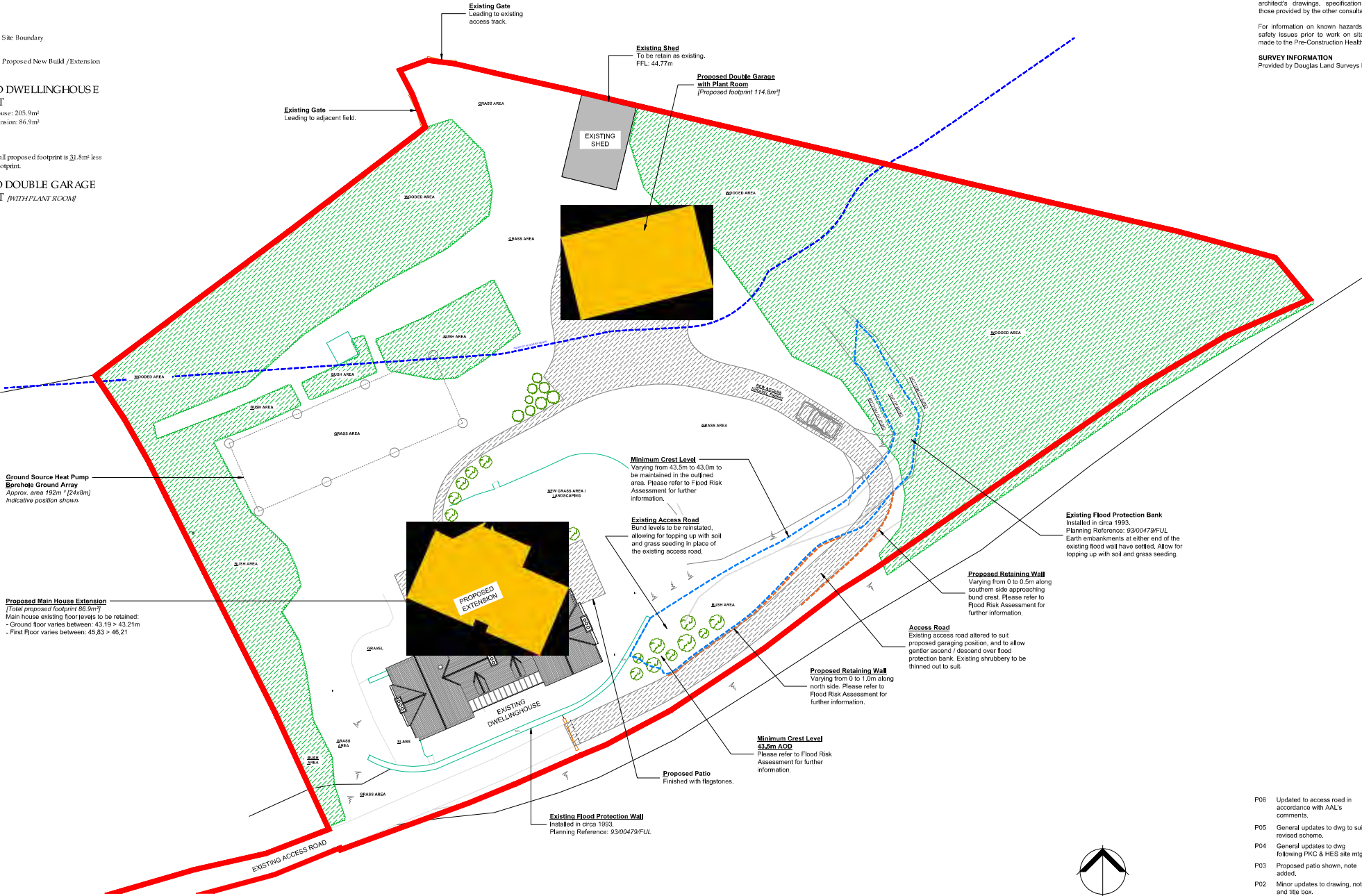
Existing Dwellinghouse: 205.9m²
Proposed Rear Extension: 86.9m²

Total: 292.8m²

Therefore the overall proposed footprint is 29.8m² less than the existing footprint.

PROPOSED DOUBLE GARAGE
FOOTPRINT [WITH PLANT ROOM]

Total: 114.8m²



NOTE
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SURVEY INFORMATION
Provided by Douglas Land Surveys Ltd. - July 2024.

Proposed Site Plan
Scale 1:200 @ A1

0 5 10 15 20 25m



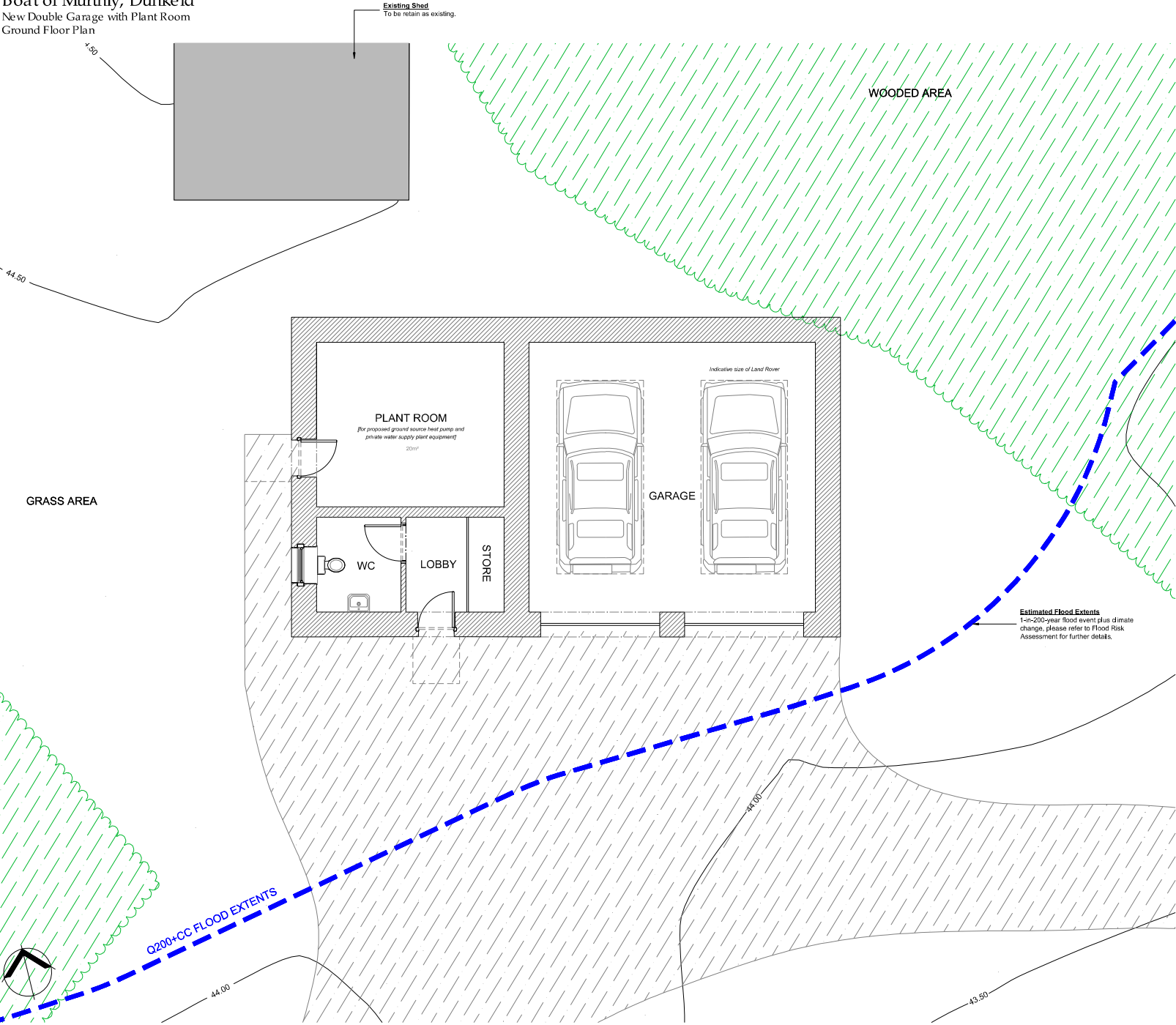
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Architect Heritage Consultancy Archaeology

P06	Updated to access road in accordance with AAL's comments.	AK	16.05.25
P05	General updates to dwg to suit revised scheme.	AK	15.05.25
P04	General updates to dwg following PKC & HES site mtg.	AK	Mar '25
P03	Proposed patio shown, note added.	AK	Feb '25
P02	Minor updates to drawing, notes and title box.	AK	Dec '24
P01	First issue.	AK	27.11.24

JOB TITLE	Boat of Murthly, Dunkeld
CLIENT	Ms J. Maude
DWG TITLE	Dwellinghouse: Proposed Site Plan
JOB NO.	2865.00
SCALE	1:200
STAGES	RIBA STAGE 3
PROJECT	BOM - SAB - DH - XX - SP - A - 0201
ROLE	P06
REV	

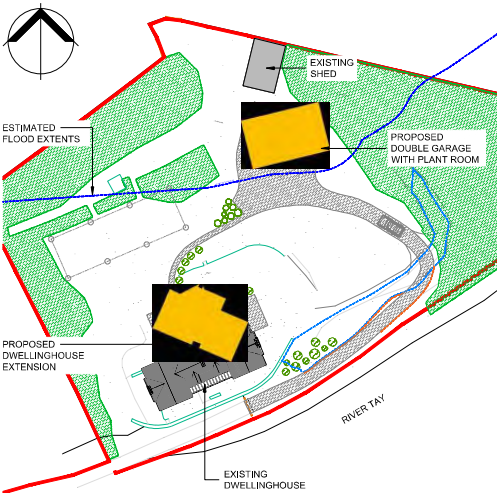
Boat of Murthly, Dunkeld
New Double Garage with Plant Room
Ground Floor Plan



NOTE
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Site Plan
Scale 1:500 @ A1
0 5 10 15 20 25m

PROPOSED BUILDING MATERIALS

- External Walls: Stone, to match existing dwellinghouse
- Roof: Slate
- Windows: Painted timber
- Doors: Painted timber
- Rainwater Goods - Painted cast iron

Estimated Flood Extents
1-in-200-year flood event plus climate change, please refer to Flood Risk Assessment for further details.

P09	Minor updates to drawing.	AK	20.05.25
P08	Building moved back 1m.	AK	08.05.25
P07	Updates following client and planning consultant meeting.	AK	01.05.25
P06	General updates to drawing following planning withdrawal.	AK	13.02.25
P05	'Key' site plan updated to show red line site boundary.	AK	Jan '25
P04	General updates to suit Flood Risk Assessment discussions.	AK	15.08.24
P03	Updated following client meeting (24.07), and internal review.	AK	08.08.24
P02	Updated to suit client feedback (22.07) for the first floor.	AK	24.07.24
P01	First issue.	AK	18.07.24

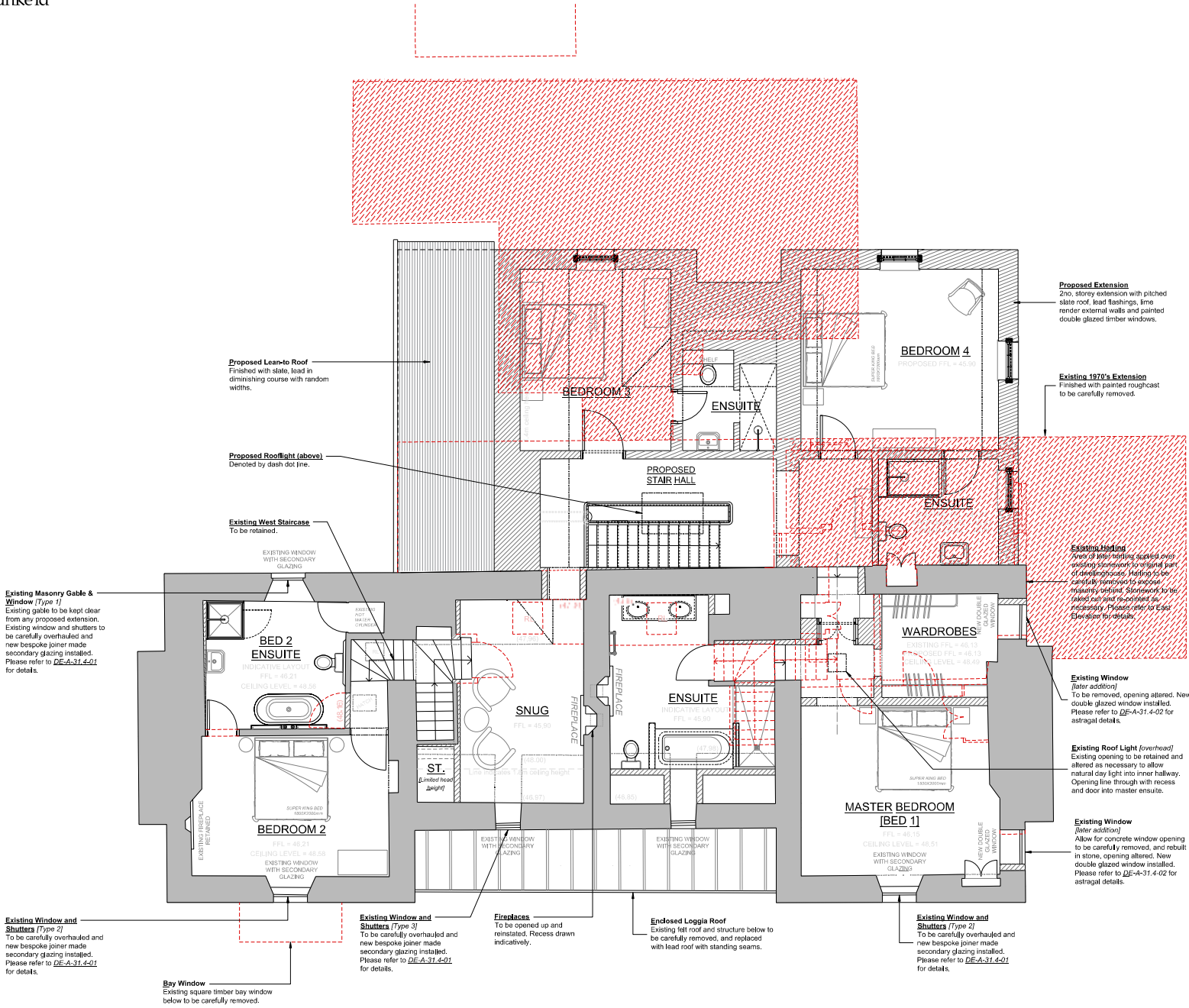
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JOB TITLE: Boat of Murthly, Dunkeld
CLIENT: Ms J. Maude
DWG TITLE: New Double Garage with Plant Room:
Proposed Ground Floor Plan
JOB NO.: 2865_01
SCALE: 1:50
RIBA STAGE 3

PROJECT	CLIENT	ZONE	LEVEL	TYPE	ROLE	DWG NO.	REV
BOM	SAB	AA	00	GA	A	0101	P09

Boat of Murthly, Dunkeld
Dwellinghouse
Proposed First Floor Plan



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For information on known hazards and general health & safety issues prior to work on site, reference should be made to the Pre-Construction Health & Safety Pack.

SURVEY INFORMATION
Provided by Douglas Land Surveys Ltd. - July 2024.

KEY

Downtakings

New works

P10	Design development ahead of resubmission.	AK	20.05.25
P09	Updates following PKCHES meeting and further internal review.	LSU/H	Apr '25
P08	Updates following client meeting and further internal review.	AK	Mar '25
P07	Updates following PKC & HES meeting.	AK	Mar '25
P06	Minor updates to drawing, notes and title box.	AK	Dec '24
P05	Layout updates following site walkround with client.	AK	07.11.24
P04	General updates to drawing following client meeting, mark-up and internal review.	JP / AK	21.10.24
P03	General updates to drawing following client meeting, mark-up and internal review.	AK	26.09.24
P02	General updates to drawing following client meeting, mark-up and internal review.	AK	12.09.24
P01	First issue.	AK	19.07.24



Proposed First Floor Plan
Scale 1:50 @ A1



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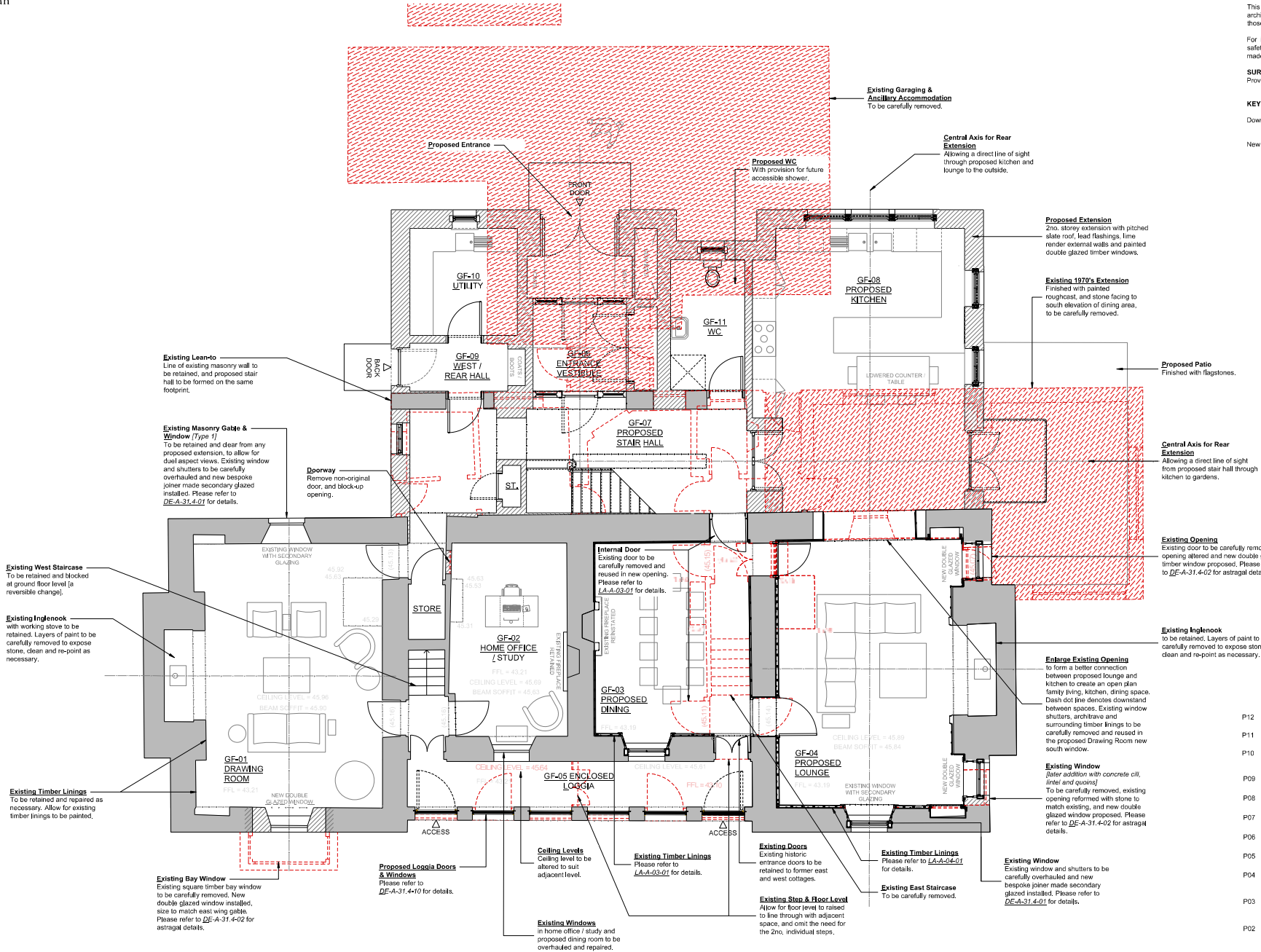
Architecture Heritage Consultancy Archaeology

Boat of Murthly, Dunkeld
CLIENT Ms J. Maude
DWG TITLE Proposed:
First Floor Plan

JOB NO. 28655_00
RIBA STAGE 3

PROJECT	DATE	ZONE	LEVEL	TYPE	ROLE	DRG NO.	REV
BOM	SAB	DH	01	GA	A	0102	P10

Boat of Murthly, Dunkeld
Dwellinghouse
Proposed Ground Floor Plan



NOTE
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For information on known hazards and general health & safety issues prior to work on site, reference should be made to the Pre-Construction Health & Safety Pack.

SURVEY INFORMATION
Provided by Douglas Land Surveys Ltd. - July 2024.

KEY

Downtakings

New works

P12	Dining Room updated to suit layout drawing.	AK	23.05.25
P11	Design development ahead of resubmission.	AK	20.05.25
P10	Updates following PKC/HES meeting and further internal review.	LS/JH	Apr '25
P09	Updates following client meeting and further internal review.	AK	Mar '25
P08	Updates following PKC & HES meeting.	AK	Mar '25
P07	Minor updates to drawing, notes and title box.	AK	Feb '25
P06	Minor updates following site walkround with client.	AK	Dec '24
P05	General updates to drawing following client meeting and internal review.	AK	07.11.24
P04	General updates to drawing following client meeting and internal review.	AK	21.10.24
P03	General updates to drawing following client meeting and internal review.	AK	26.09.24
P02	General updates to drawing following client meeting, mark-up and internal review.	AK	12.09.24
P01	First issue.	AK	19.07.24



Track

Boat of Murthly

Greystones

Q200+CC FLOOD EXTENTS

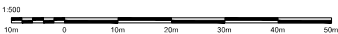
Q200 FLOOD EXTENTS

Q200+CC FLOOD EXTENTS

Q200 FLOOD EXTENTS

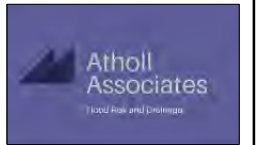
Q200 FLOOD EXTENTS

PLAN
SCALE 1:500



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 4. ALL DIMENSIONS ARE IN METRES UNLESS NOTED OTHERWISE.
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REV	DESCRIPTION	DATE



Algo Business Centre
Glennan Road, Perth PH2 0NJ
T 0790451573 E brian@athollassociates.co.uk

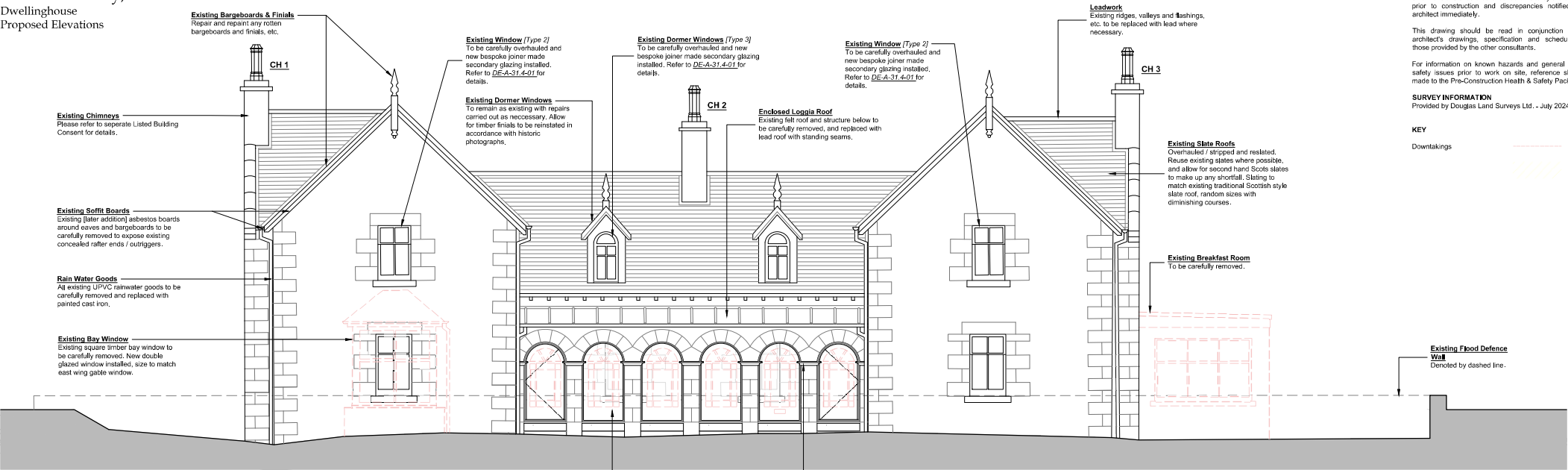
Project:	BOAT OF MURTHLY		
Title:	FLOOD ENVELOPE Q200 - CLIMATE CHANGE		
Drawn By:	DR	Scale: 1:500	Date: NOV 24
Drawing Number:	AA/31/202001		
Revision:			

Atholl Associates
Algo Business Centre
Glenearn Road
Perth
PH2 0NJ

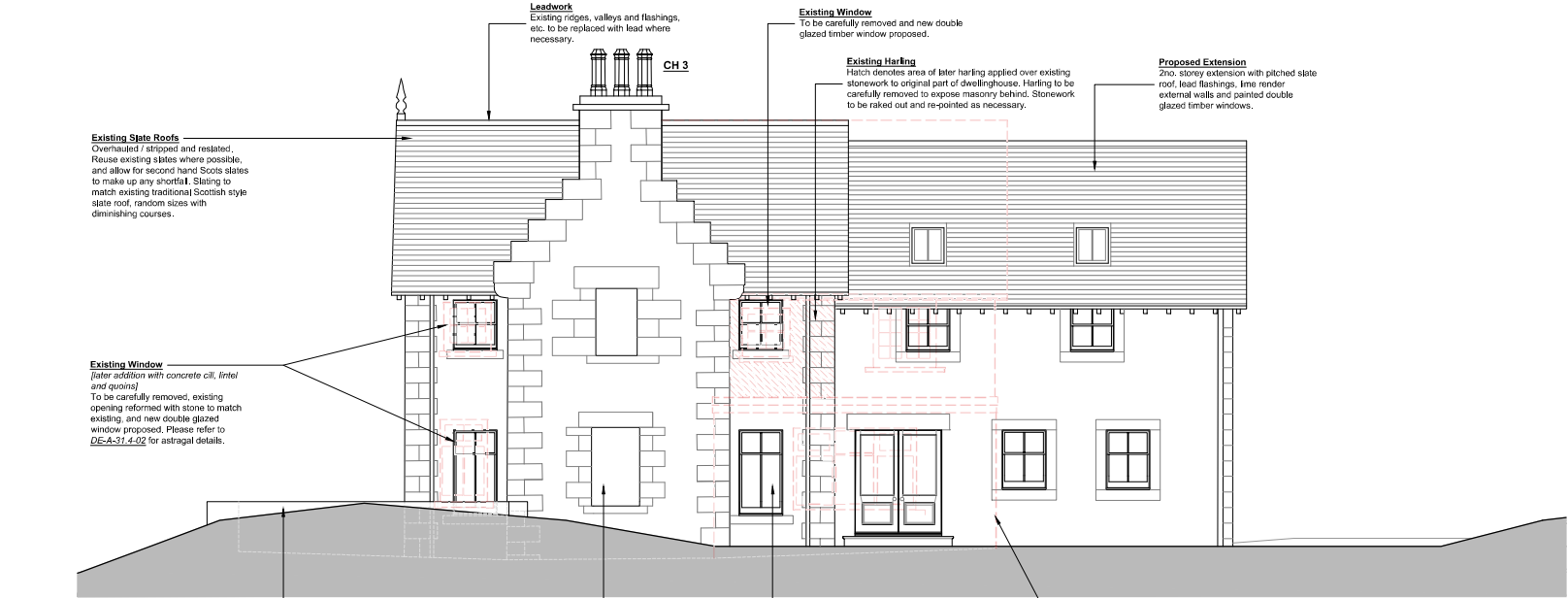
t: 07904451873
e: enquiries@athollassociates.co.uk
w: www.athollassociates.co.uk



Boat of Murthly, Dunkeld
Dwellinghouse
Proposed Elevations



Proposed South Elevation
Scale 1:50 @ A1



Proposed East Elevation
Scale 1:50 @ A1

NOTE
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SURVEY INFORMATION
Provided by Douglas Land Surveys Ltd. - July 2024.

KEY
Downtakings

Existing Flood Defence Wall
Denoted by dashed line.

P08	Design development ahead of resubmission.	AK	May '25
P07	Update following PKC/HES meeting and internal review.	LS/JH	Apr '25
P06	Updates following PKC & HES meeting.	AK	Mar '25
P05	Minor updates to South Elevation and notes.	AK	Feb '25
P04	Updates to drawing, notes and title box.	AK	Dec '24
P03	Update following site visit with client and internal review.	AK	07.11.24
P02	Update following client meeting and internal review.	JP	18.10.24
P01	First issue.	AR/JH	04.10.24

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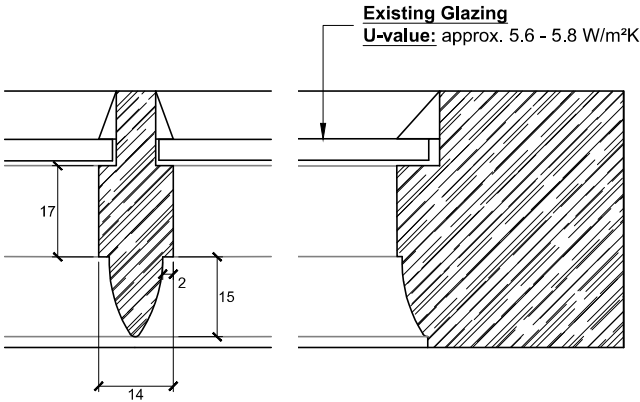
The Old Printworks, 77a Brunswick Street, Edinburgh, EH7 5HS
admin@simpsonandbrown.co.uk 0131 555 4678

Architecture Heritage Consultancy Archaeology

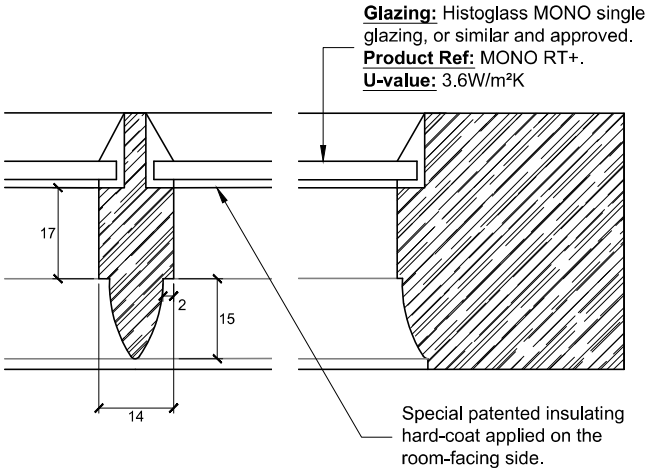
JOB TITLE	Boat of Murthly, Dunkeld
CLIENT	Ms J. Maude
DWG TITLE	Proposed:
South & East Elevations	
JOB NO.	2865.00
AT SCALE	1:50
STATUS	RBA STAGE 3
PROJECT	BOM - SAB - DH - XX - GA - A - 0201
ROLE	REV
DATE	P08

Boat of Murthly, Dunkeld
Astragal Profiles
As Existing & Proposed

Scale:
0 10 30 50mm



As Existing
[drawing to be read in conjunction with GA-A-0101, GA-A-0102 and DE-A-31.4 for proposed secondary glazing details]
Scale 1:1 @ A3

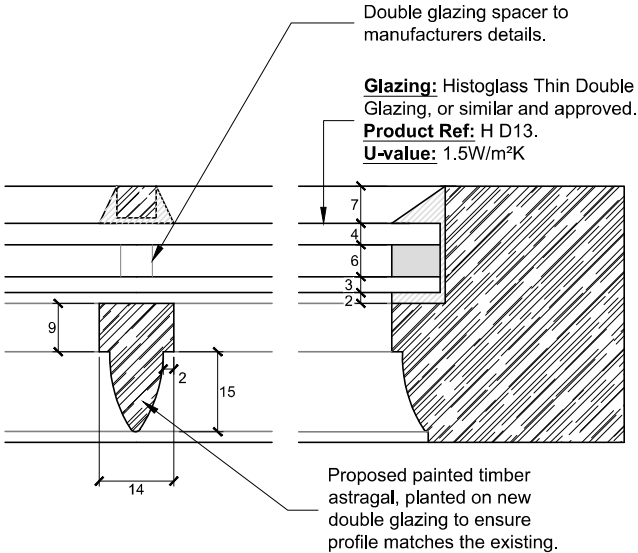


New Single Glazed Windows
[drawing to be read in conjunction with GA-A-0101 and GA-A-0102 for locations]
Scale 1:1 @ A3

NOTE
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New Double Glazed Windows
[to be located in the rear extension, refer to GA-A-0101 and GA-A-0102]
Scale 1:1 @ A3

P02	General updates to dwg to include new single glazed window option. Additional notes included.	AK	July '25
P01	First issue.	AK	20.05.25

Astragal Profiles: As Existing & Proposed
Scale 1:1 @ A3

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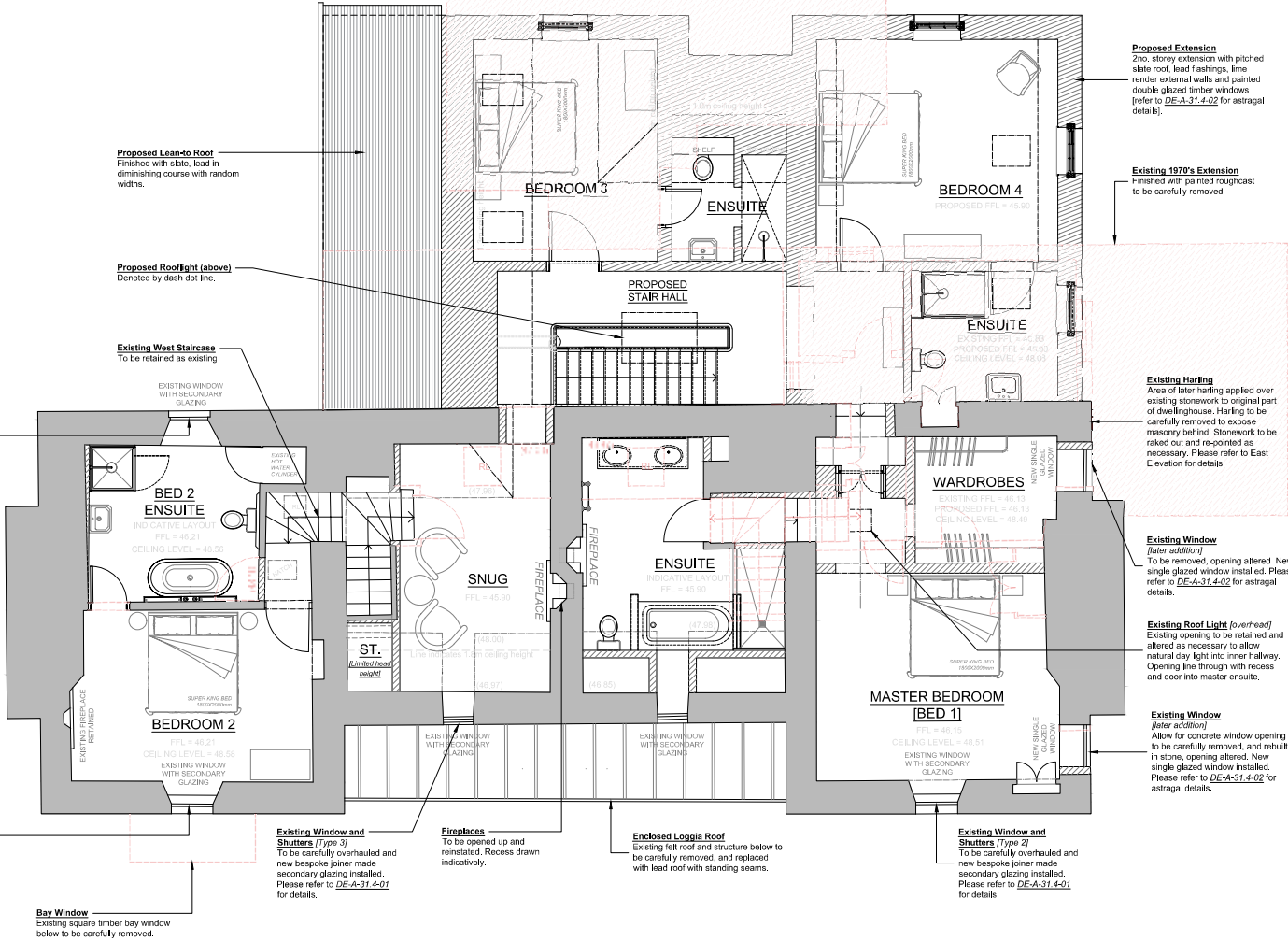
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Architecture Heritage Consultancy Archaeology

JOB TITLE Boat of Murthly, Dunkeld
CLIENT Ms J. Maude
DWG TITLE Astragal Profiles
As Existing & Proposed

JOB NO.	A3 SCALE	STATUS					
2865.00	1.1	RIBA STAGE 3					
PROJECT	ORIGIN	ZONE	LEVEL	TYPE	ROLE	DRG NO.	REV
BOM	- SAB	- DH	- XX	- DE	- A	- 31.4-02	P02

Boat of Murthly, Dunkeld
Dwellinghouse
Proposed First Floor Plan



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SURVEY INFORMATION
Provided by Douglas Land Surveys Ltd. - July 2024.

KEY

Downtakings

New works

Proposed Extension
2no. storey extension with pitched slate roof, lead flashings, lime render external walls and painted double glazed timber windows [refer to DE-A-31.4.02 for astragal details].

Existing 1970's Extension
Finished with painted roughcast to be carefully removed.

Existing Harling
Area of later harling applied over existing stonework to original part of dwellinghouse. Harling to be carefully removed to expose masonry behind. Stonework to be raked out and re-pointed as necessary. Please refer to East Elevation for details.

Existing Window
[later addition]
To be removed, opening altered. New single glazed window installed. Please refer to DE-A-31.4.02 for astragal details.

Existing Roof Light [overhead]
Existing opening to be retained and altered as necessary to allow natural day light into inner hallway. Opening line through with recess and door into master ensuite.

Existing Window
[later addition]
Allow for concrete window opening to be carefully removed, and rebuilt in stone, opening altered. New single glazed window installed. Please refer to DE-A-31.4.02 for astragal details.

Existing Window and Shutters (Type 2)
To be carefully overhauled and new bespoke joiner made secondary glazing installed. Please refer to DE-A-31.4.01 for details.

Enclosed Loggia Roof
Existing flat roof and structure below to be carefully removed, and replaced with lead roof with standing seams.

Fireplaces
To be opened up and reinstated. Recess drawn indicatively.

Existing Window and Shutters (Type 3)
To be carefully overhauled and new bespoke joiner made secondary glazing installed. Please refer to DE-A-31.4.01 for details.

Bay Window
Existing square timber bay window below to be carefully removed.

Existing Masonry Gable & Window (Type 1)
Existing gable to be kept clear from any proposed extension. Existing window and shutters to be carefully overhauled and new bespoke joiner made secondary glazing installed. Please refer to DE-A-31.4.01 for details.

Existing Window and Shutters (Type 2)
To be carefully overhauled and new bespoke joiner made secondary glazing installed. Please refer to DE-A-31.4.01 for details.



Proposed First Floor Plan
Scale 1:50 @ A1



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Architecture Heritage Consultancy Archaeology

Boat of Murthly, Dunkeld

CLIENT Ms J. Maude

DWG TITLE Proposed:

First Floor Plan

JOB NO. 2865.00

AS SCALE 1:50

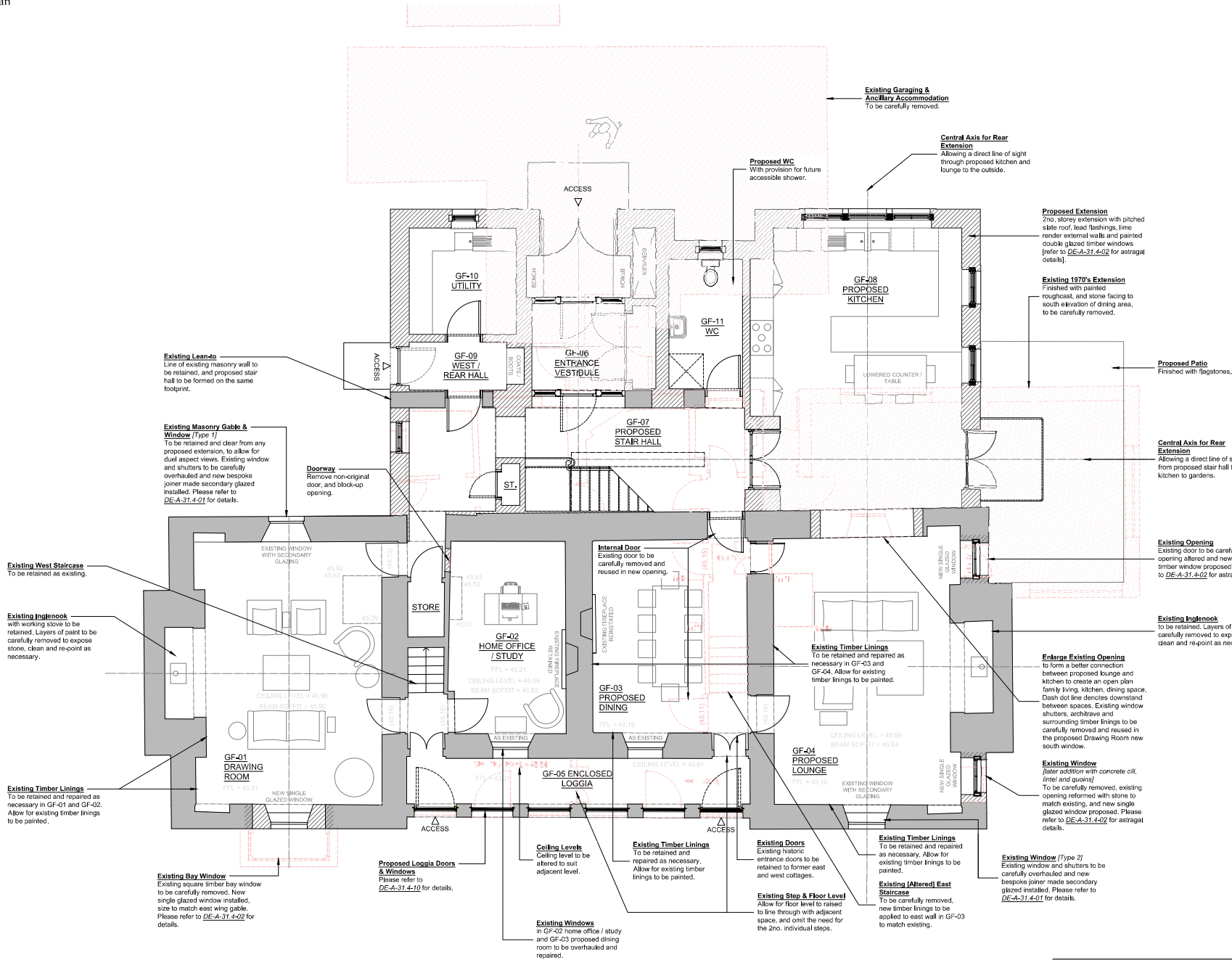
STATUS RBA STAGE 3

PROJECT BOM - SAB - DH - 01 - GA - A - 0102 P11

ROLE ARCHITECT

DATE 21.10.24

Boat of Murthly, Dunkeld
Dwellinghouse
Proposed Ground Floor Plan



NOTE
Do not scale from this drawing for construction purposes - all dimensions should be checked on site by the contractor prior to construction and discrepancies notified to the architect immediately.

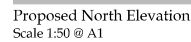
This drawing should be read in conjunction with the architect's drawings, specification and schedules, and those provided by the other consultants.

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SURVEY INFORMATION
Provided by Douglas Land Surveys Ltd. - July 2024.

KEY
Downtakings
New works

P13	West staircase and window notes updated. New framing and plasterboard linings to GF-03 and GF-04 removed.	AK	July '25
P12	Dining Room updated to suit layout drawing.	AK	23.05.25
P11	Design development ahead of resubmission.	AK	20.05.25
P10	Updates following PKCHES meeting and further internal review.	LSUH	Apr '25
P09	Updates following client meeting and further internal review.	AK	Mar '25
P08	Updates following PKC & HES meeting.	AK	Mar '25
P07	Additional notes included to suit planning officer comments.	AK	Feb '25
P06	Minor updates to drawing, notes and title box.	AK	Dec '24
P05	Minor updates following site walkround with client.	AK	07.11.24
P04	General updates to drawing following client meeting and internal review.	AK	21.10.24
P03	General updates to drawing following client meeting and internal review.	AK	26.09.24
P02	General updates to drawing following client meeting, mark-up and internal review.	AK	12.09.24
P01	First Issue.	AK	19.07.24



KEY
Downtakings

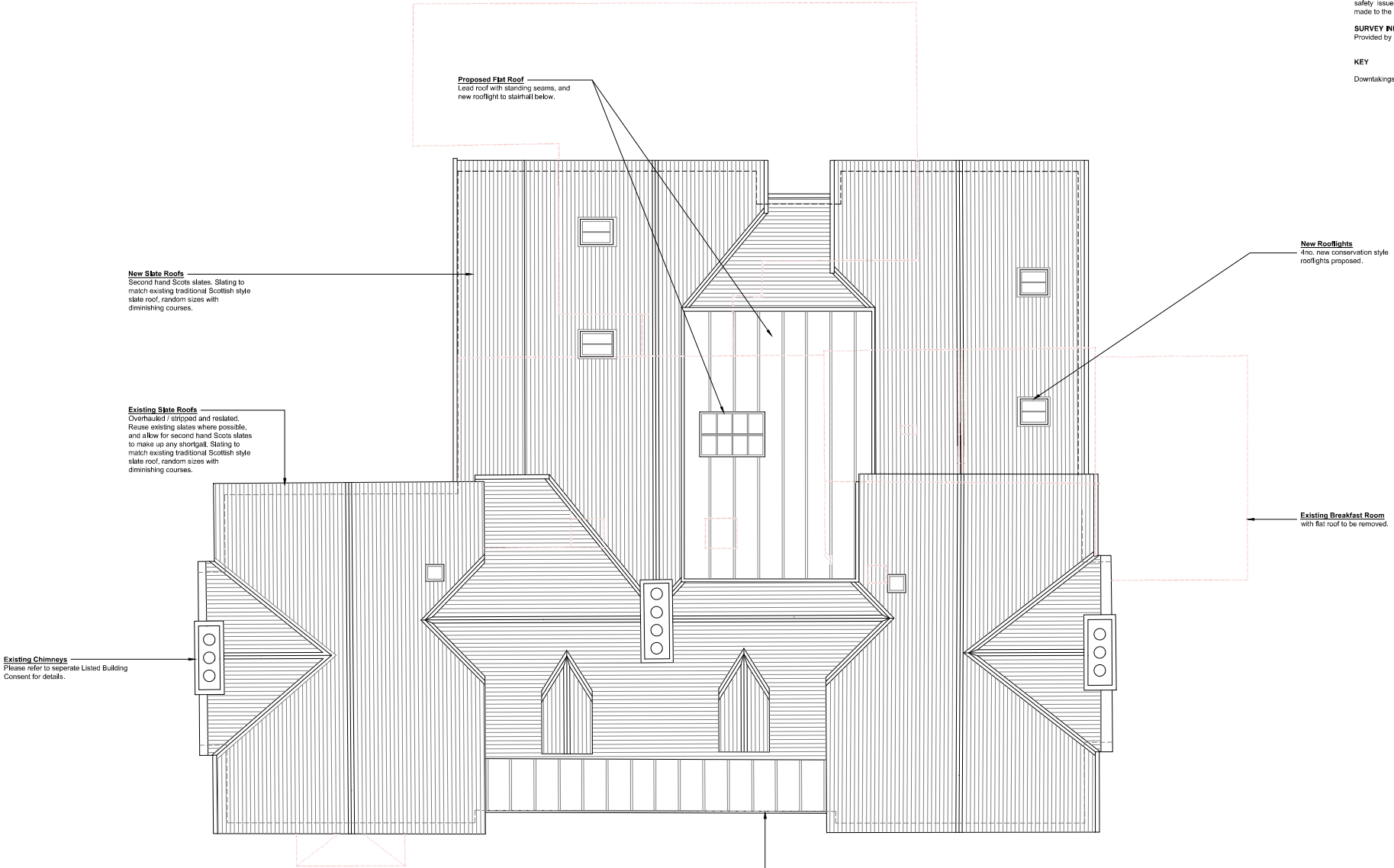


Existing Flood Protection Wall —
Installed in circa 1993.
Planning Reference: 93/00479/FUL



gy	BOM	-	SAB	-	DH	-	XX	-	GA	-	A	-	0202	P09
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Boat of Murthly, Dunkeld
Dwellinghouse
Proposed Roof Plan



NOTE
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SURVEY INFORMATION
Provided by Douglas Land Surveys Ltd. - July 2024.

KEY
Dowltakings

P05	2no. additional rooflights included.	AK	July '25
P04	Minor updates to drawing ahead of resubmission.	AK	May '25
P03	Updates following PKC & HES meeting.	AK	Mar '25
P02	Minor updates to drawing, notes and title box.	AK	Dec '24
P01	First Issue.	AK	07.11.24



Proposed Roof Plan
Scale 1:50 @ A1
0 1 2 3 4 5m

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JOB NO.

2865.00

PROJECT

BOM

ARCH

SAB

ZONE

DH

LEVEL

01

TYPE

GA

ROLE

A

DWG NO.

0110

REV

P05

JOB TITLE

Boat of Murthly, Dunkeld

CLIENT

Ms J. Maude

DWG TITLE

Proposed: Roof Plan

AS SCALE

1:50

STATUS

RIBA STAGE 3

ARCHITECTURE

HERITAGE CONSULTANCY

ARCHAEOLOGY

Boat of Murthly, Dunkeld
Dwellinghouse: Proposed Site Plan

KEY

Site Boundary

Proposed New Build / Extension

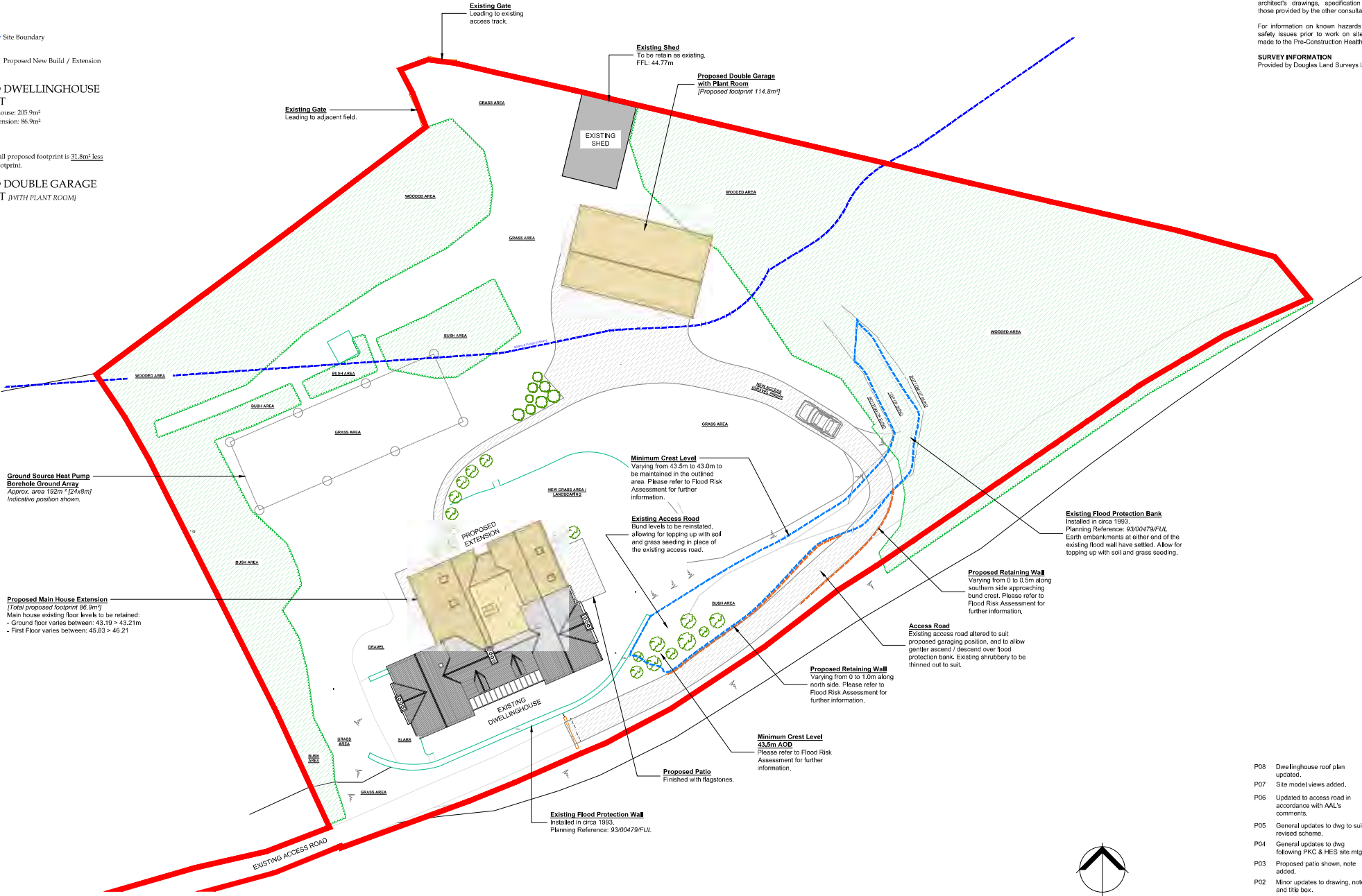
PROPOSED DWELLINGHOUSE FOOTPRINT
Existing Dwellinghouse: 203.9m²
Proposed Rear Extension: 86.9m²

Total: 292.8m²

Therefore the overall proposed footprint is 31.8m² less than the existing footprint.

PROPOSED DOUBLE GARAGE FOOTPRINT [WITH PLANT ROOM]

Total: 114.8m²



NOTE
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SURVEY INFORMATION
Provided by Douglas Land Surveys Ltd. - July 2024.

Proposed Site Plan
Scale 1:200 @ A1

0 5 10 15 20 25m



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Architecture Heritage Consultancy Archaeology

Job Title

Client

DWG Title

At Scale

Project

Urban

Zone

Level

Type

Role

DWG No.

Rev

Boat of Murthly, Dunkeld

Ms J. Maude

Dwellinghouse: Proposed Site Plan

1:200

2865.00

XX

SP

A

0201

P08

Job No.

Issue

Stage

Date

2865.00

1

RBA

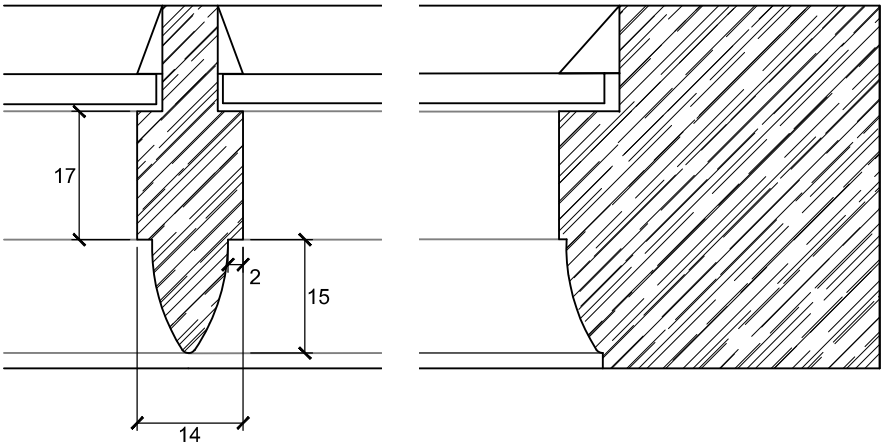
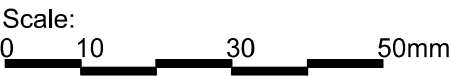
27.11.24

P08	Dwellinghouse roof plan updated.	AK	July '25
P07	Site model views added.	AK	July '25
P06	Updated to access road in accordance with AAL's comments.	AK	16.05.25
P05	General updates to dwg to suit revised scheme.	AK	15.05.25
P04	General updates to dwg following PKC & HES site mtg.	AK	Mar '25
P03	Proposed patio shown, note added.	AK	Feb '25
P02	Minor updates to drawing, notes and title box.	AK	Dec '24
P01	First Issue.	AK	27.11.24

Boat of Murthly, Dunkeld

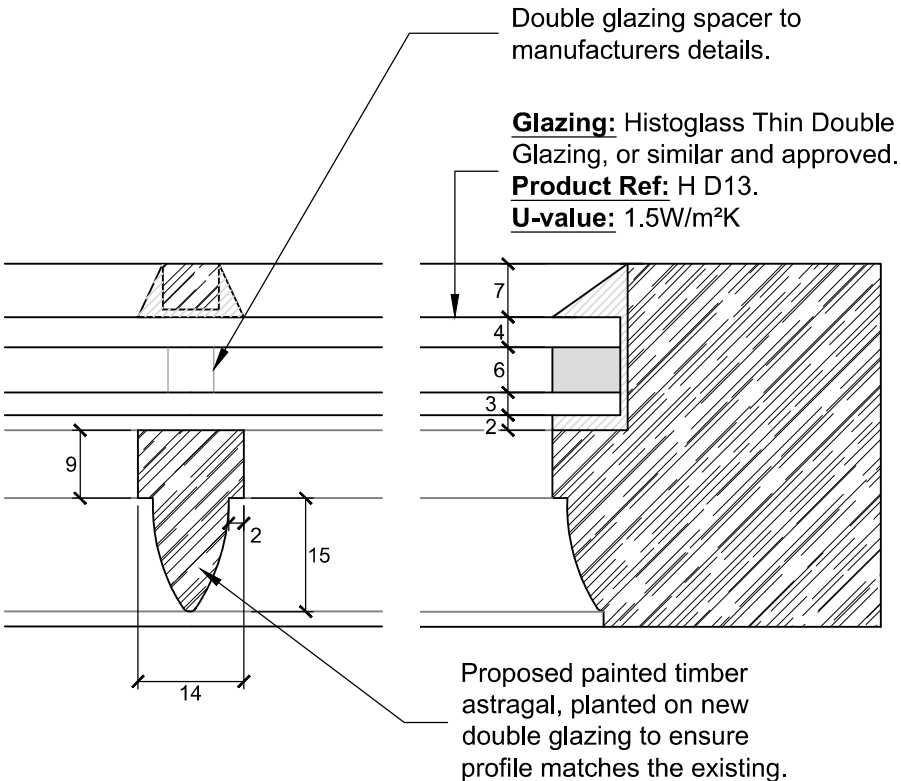
Astragal Profiles

As Existing & Proposed



As Existing

Scale 1:1 @ A4



As Proposed

Scale 1:1 @ A4

NOTE
Do not scale from this drawing for construction purposes - all dimensions should be checked on site by the contractor prior to construction and discrepancies notified to the architect immediately.

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For information on known hazards and general health & safety issues prior to work on site, reference should be made to the Pre-Construction Health & Safety Pack.

P01 First issue. AK 20.05.25

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Architecture Heritage Consultancy Archaeology

JOB TITLE Boat of Murthly, Dunkeld
CLIENT Ms J. Maude
DWG TITLE Astragal Profiles
As Existing & Proposed

JOB NO. 2865.00 A4 SCALE 1.1 STATUS RIBA STAGE 3

PROJECT	ORIGIN	ZONE	LEVEL	TYPE	ROLE	DRG NO.	REV					
BOM	-	SAB	-	DH	-	XX	-	DE	-	A	-31.4-02	P01

SURVEY INFORMATION
Provided by Douglas Land Surveys Ltd. - July 2024.

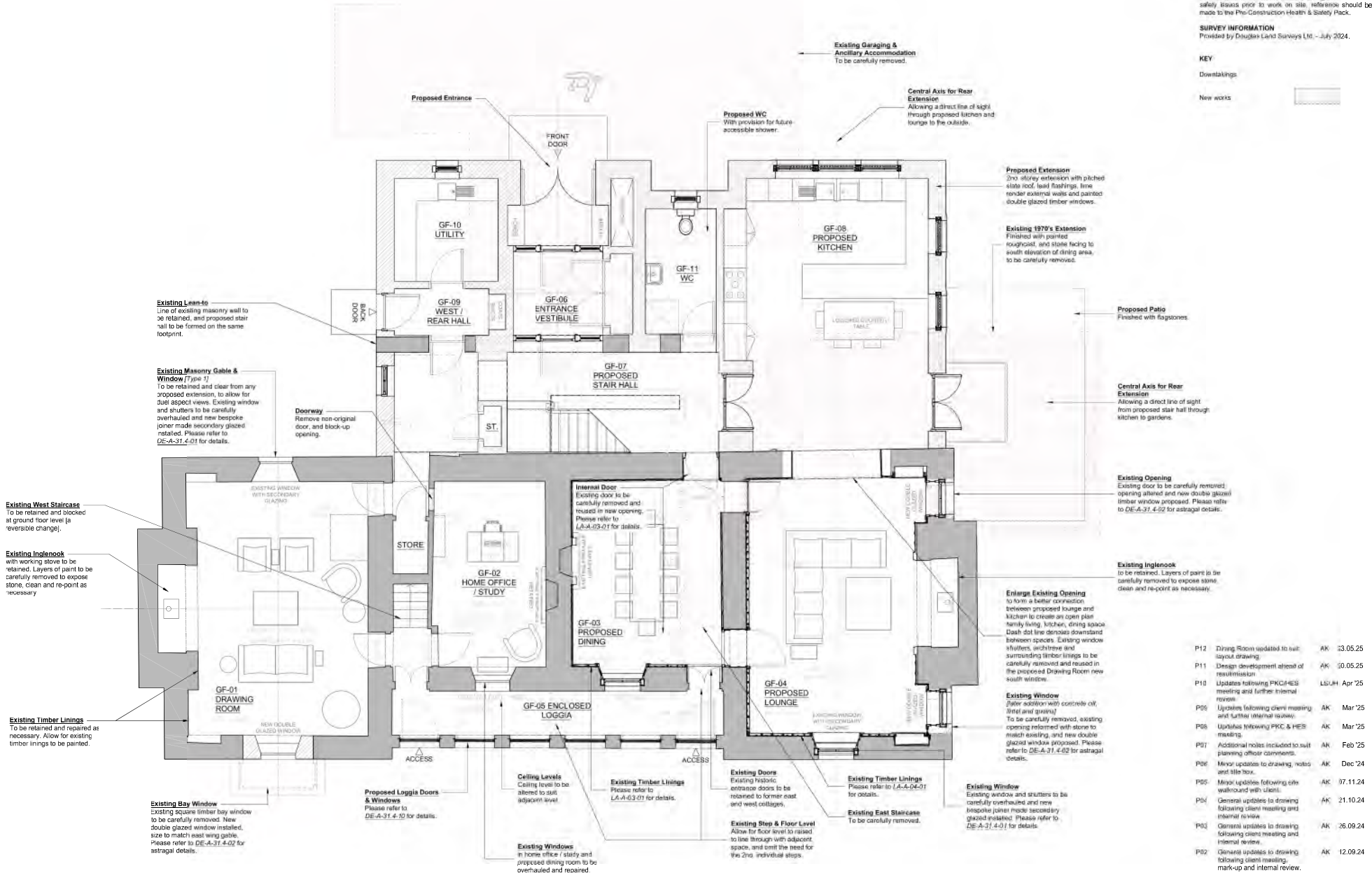
New works



P10	Design development ahead of resubmission.	AK	20.05.25
P09	Updates following PKCHES meeting and further internal review.	LSU/H	Apr '25
P08	Updates following client meeting and further internal review.	AK	Mar '25
P07	Updates following PKC & HES meeting.	AK	Mar '25
P06	Minor updates to drawing, notes and title box.	AK	Dec '24
P05	Layout updates following site walkround with client.	AK	07.11.24
P04	General updates to drawing following client meeting, mark-up and internal review.	JP / AK	21.10.24
P03	General updates to drawing following client meeting, mark-up and internal review.	AK	26.09.24
P02	General updates to drawing following client meeting, mark-up and internal review.	AK	12.09.24
P01	First issue.	AK	19.07.24

JOB TITLE	Boat of Murthly, Dunkeld									
CLIENT	Ms J. Maude									
DWG TITLE	Proposed: First Floor Plan									
JOB NO.	2865.00		A1 SCALE		1.50		STATUS		RIBA STAGE 3	
PROJECT	ORIGIN	ZONE	LEVEL	TYPE	ROLE	DWG NO.	REV			
BOM	SAB	DH	01	GA	A	0102	P10			

Boat of Murthly, Dunkeld
Dwellinghouse
Proposed Ground Floor Plan



NOTE
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SURVEY INFORMATION
Provided by Douglas Land Surveys Ltd. - July 2024.

KEY
Dowtakings
New works

P12	Dining Room updated to suit layout drawing	AK	23.05.25
P11	Design development ahead of realisation	AK	20.05.25
P18	Updates following PKCHES meeting and further internal review	LSJ:AH	Apr '25
P08	Updates following client meeting and further internal review	AK	Mar '25
P08	Updates following PKC & HER meeting	AK	Mar '25
P07	Additional notes included to suit planning officer comments	AK	Feb '25
P06	Minor updates to drawing, notes and title box	AK	Dec '24
P05	Minor updates following site walkround with client	AK	31.11.24
P04	General updates to drawing following client meeting and internal review	AK	21.10.24
P03	General updates to drawing following client meeting and internal review	AK	26.09.24
P02	General updates to drawing following client meeting, mark-up and internal review	AK	12.09.24
P01	First issue	AK	19.07.24



Proposed Ground Floor Plan
Scale 1:50 @ A1



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Boat of Murthly, Dunkeld

CLIENT Ms J. Maude

DWG TITLE Proposed:

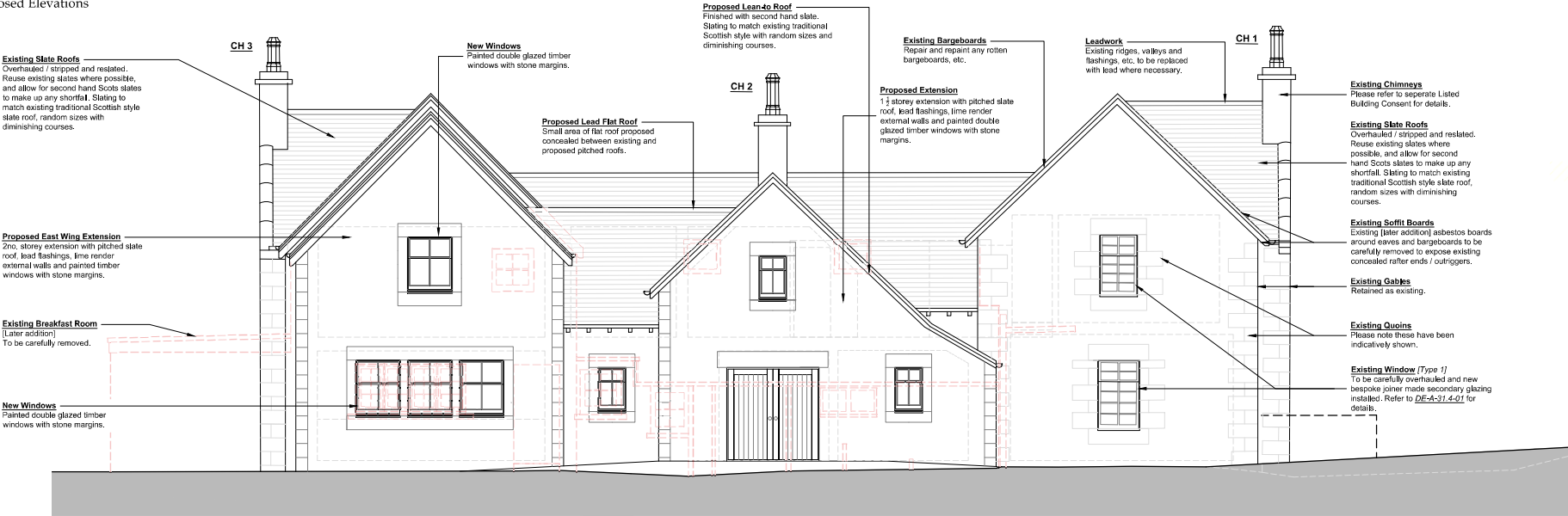
Ground Floor Plan

NO. NO. 2865.00 **SCALE** 1:50 **STATUS** RIBA STAGE 3

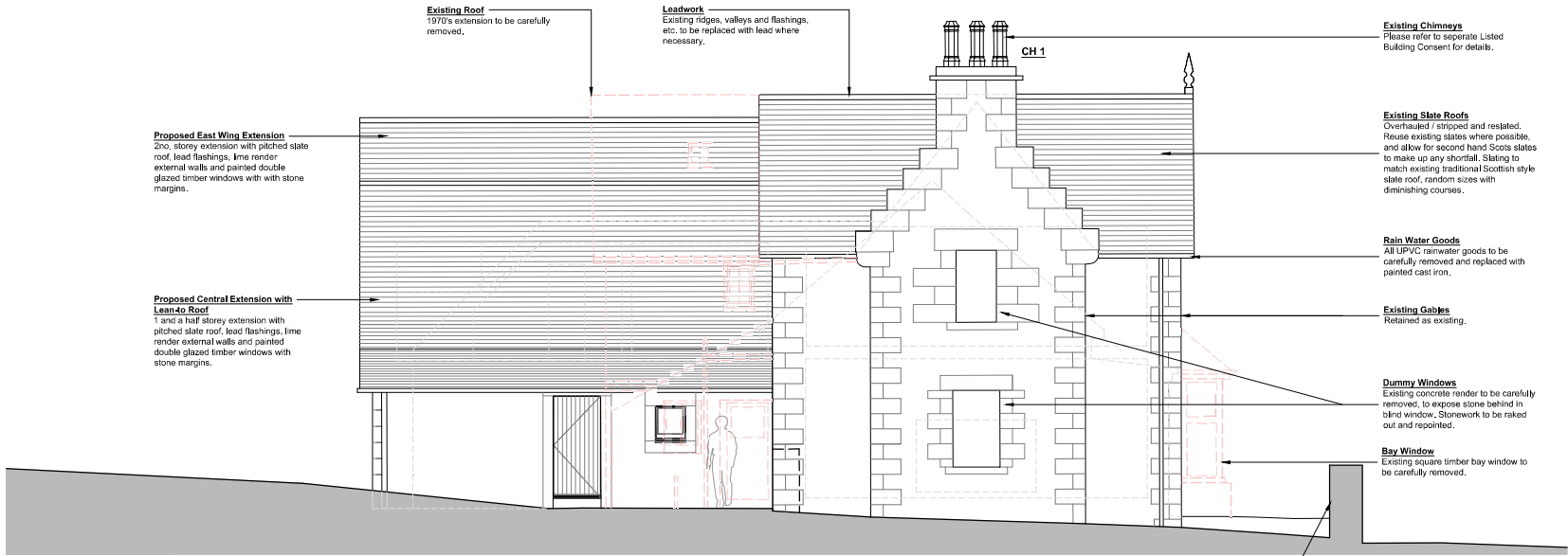
PROJECT BOM - SAB - DH - 00 - GA - A - 0101 **REV** P12

Architecture Heritage Consultancy Archaeology

Boat of Murthly, Dunkeld
Dwellinghouse
Proposed Elevations



Proposed North Elevation
Scale 1:50 @ A1



Proposed West Elevation
Scale 1:50 @ A1

0 1 2 3 4 5m

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SURVEY INFORMATION
Provided by Douglas Land Surveys Ltd. - July 2024.

KEY
Downtakings

P08	Design development ahead of resubmission.	AK	May '25
P07	Update following PKG/HES meeting and internal review.	LS/JH	Apr '25
P06	Updates following PKC & HES meeting.	AK	Mar '25
P05	Updates to drawing, notes and title box.	AK	Dec '24
P04	Update following site visit with client and internal review.	AK	07.11.24
P03	Update following client meeting and internal review.	JP	18.10.24
P02	General design development following client meeting and internal review.	AR/JH	04.10.24
P01	First Issue.	AK	12.09.24

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Architecture Heritage Consultancy Archaeology

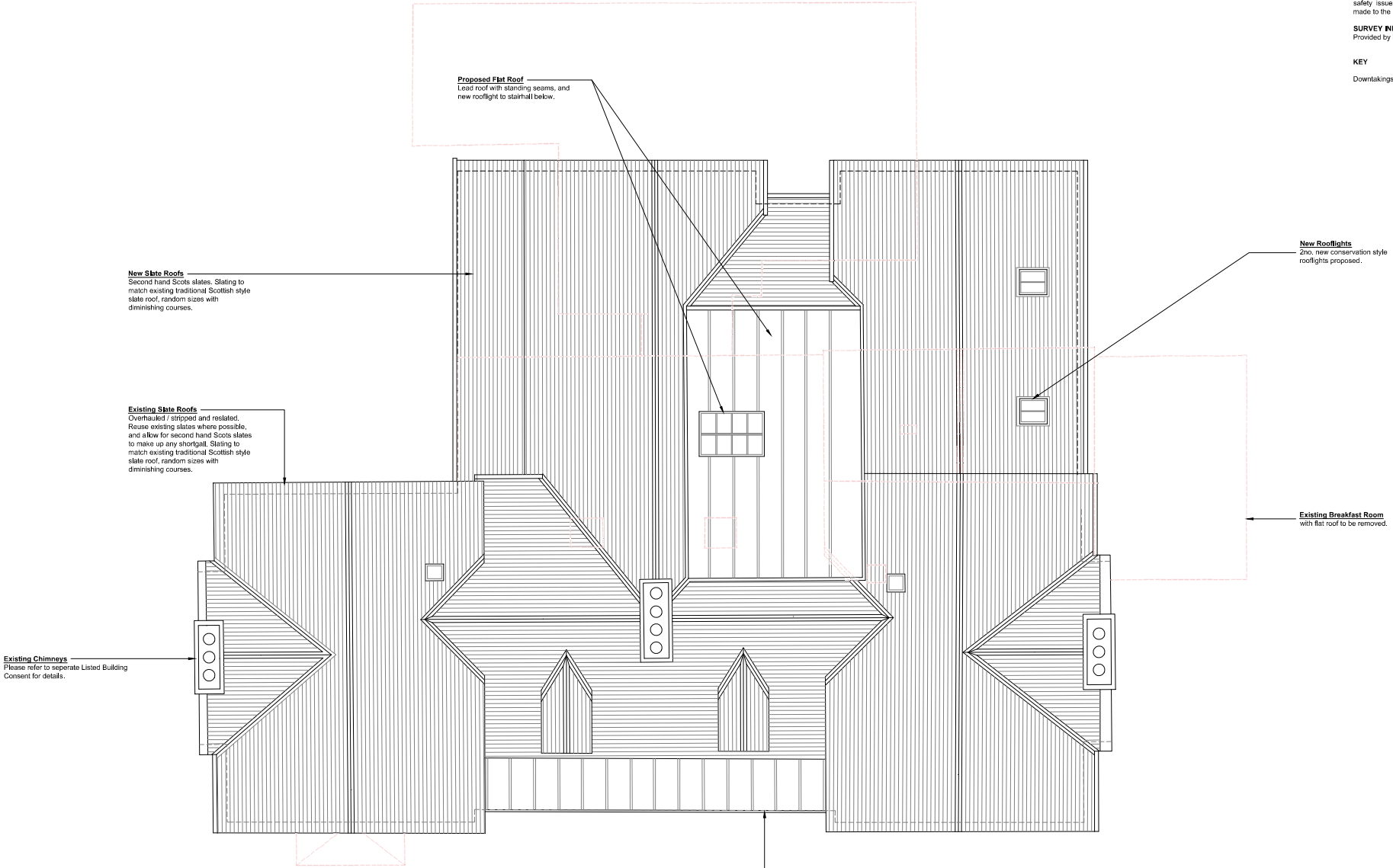
Boat of Murthly, Dunkeld
CLIENT Ms J. Maude
DWS TITLE Proposed:

North & West Elevations

JOB NO. 2865.00 A1 SCALE 1:50 STAGE RBA STAGE 3

PROJECT BOM - SAB - DH - XX - GA - A - 0202 P08

Boat of Murthly, Dunkeld
Dwellinghouse
Proposed Roof Plan



NOTE
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SURVEY INFORMATION
Provided by Douglas Land Surveys Ltd. - July 2024.

KEY
Dowltakings

Boat of Murthly, Dunkeld
Dwellinghouse: Proposed Site Plan

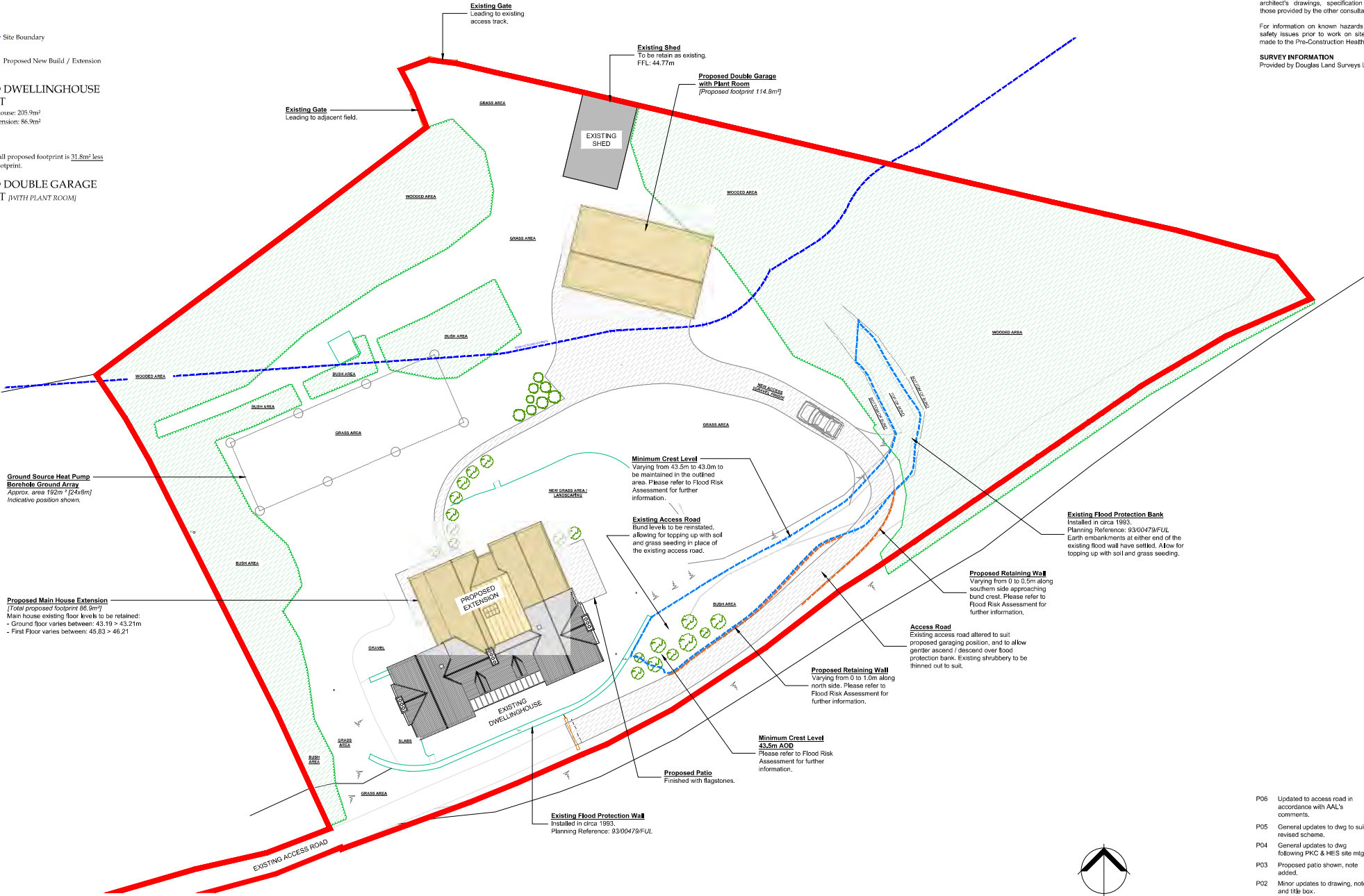
KEY

Site Boundary

Proposed New Build / Extension

PROPOSED DWELLINGHOUSE
FOOTPRINT
Existing Dwellinghouse: 203.9m²
Proposed Rear Extension: 86.9m²
Total: 292.8m²
Therefore the overall proposed footprint is 31.8m² less
than the existing footprint.

PROPOSED DOUBLE GARAGE
FOOTPRINT (WITH PLANT ROOM)
Total: 114.8m²



Ground Source Heat Pump
Borehole Ground Array
Approx. area 192m² (24x8m)
Indicative position shown.

Proposed Main House Extension
(Total proposed footprint 86.9m²)
Main house existing floor levels to be retained:
- Ground floor varies between: 43.19 > 43.21m
- First Floor varies between: 45.83 > 46.21

Minimum Crest Level
Varying from 43.5m to 43.0m to
be maintained in the outlaid
area. Please refer to Flood Risk
Assessment for further
information.

Existing Access Road
Bund levels to be reinstated,
allowing for topping up with soil
and grass seeding in place of
the existing access road.

Existing Flood Protection Bank
Installed in circa 1993.
Planning Reference: 93/00479/FUL
Earth embankments at either end of the
existing flood wall have settled. Allow for
topping up with soil and grass seeding.

Proposed Retaining Wall
Varying from 0 to 0.5m along
southern side approaching
bund crest. Please refer to
Flood Risk Assessment for
further information.

Access Road
Existing access road altered to suit
proposed garaging position, and to allow
gentler ascent / descent over flood
protection bank. Existing shrubbery to be
thinned out to suit.

Proposed Retaining Wall
Varying from 0 to 1.0m along
north side. Please refer to
Flood Risk Assessment for
further information.

Minimum Crest Level
43.5m AOD
Please refer to Flood Risk
Assessment for further
information.

Proposed Patio
Finished with flagstones.

Existing Flood Protection Wall
Installed in circa 1993.
Planning Reference: 93/00479/FUL

Proposed Site Plan
Scale 1:200 @ A1

0 5 10 15 20 25m

NOTE
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SURVEY INFORMATION
Provided by Douglas Land Surveys Ltd. - July 2024.



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Architecture Heritage Consultancy Archaeology

P06	Updated to access road in accordance with AAL's comments.	AK	16.05.25
P05	General updates to dwg to suit revised scheme.	AK	15.05.25
P04	General updates to dwg following PKC & HES site mtg.	AK	Mar '25
P03	Proposed patio shown, note added.	AK	Feb '25
P02	Minor updates to drawing, notes and title box.	AK	Dec '24
P01	First issue.	AK	27.11.24

JOB TITLE	Boat of Murthly, Dunkeld
CLIENT	Ms J. Maude
DWG TITLE	Dwellinghouse: Proposed Site Plan
AS SCALE	1:200
STATUS	RBA STAGE 3
JOB NO.	2865.00
PROJECT	BOM - SAB - DH - XX - SP - A - 0201
DATE	27.11.24
REV	P06

THE ORIGINAL CONSERVATION ROOFLIGHT

The Conservation Rooflight is the original low profile historic skylight, combining the highest modern performance standards with an authentic traditional appearance. Favoured by English Heritage, the National Trust and Planning / Conservation Officers, it is available in a wide range of sizes, along with a Bespoke Design Service.

The Conservation Rooflight enables our customers to transform properties with natural lighting from above that not only serves their practical needs but enhances the design and beauty of the building.



Employee owned and a certified B-Corp organisation, we are committed to improving the standards of our products for our people and the local community and to reducing our impact on the environment.

We are The Rooflight Co. The premium rooflight manufacturer for properties of architectural significance.

— THE —
ROOFLIGHT CO.
— COTSWOLDS —

Bourton-on-the-Water, Gloucestershire, GL54 2HQ
01993 833 155 | hello@therooflightco.com | therooflightco.com

A TRULY AUTHENTIC ROOFLIGHT:

When it comes to the finer details of a Conservation Rooflight, there are several features that must be included to ensure the true characteristics of the original Victorian roof windows are protected. Whilst most features such as **being top hung** with **exposed hinges**, having **glazing bars** and a **flush finish** are more well known, there are more intricate details that make a truly authentic Conservation Rooflight. These include the following three vital elements.

- o **A single glazed appearance** – the original Victorian rooflight was only available with a single pane of glass using a 1" overlap at the cill. With modern thermal performance requirements, double glazed units are now essential to support the protection of our environment and conserve energy. We achieve this through a 25mm stepped glazing edge to the double glazing. Not a millimetre more, not a millimetre less.

- o **Glazing clips** – In the Victorian era, a single pane of glass was held in place with putty and clips. Whilst modern technology ensures our glazing units today are secured firmly in place, we still retain the use of glazing clips at the cill of the rooflight to reference back to that original design feature. The visual is further enhanced through a hand-applied perimeter application of silicone which mirrors the putty of old.

- o **Fine lines** – Due to the manufacturing capabilities of the 1800s, the original cast iron framework was minimal. In the 21st century, thermally efficient rooflights require a thermally de-coupled frame structure to minimise heat loss. Our Design Engineers have developed the perfect balance, achieving the much-desired authentic fine lines, whilst simultaneously and consistently delivering Building Regulation compliant thermal performance.

We are passionate about Conservation Rooflights. For us, it's the small and often overlooked details that make the original Conservation Rooflight the authentic choice for properties of architectural significance.

PRODUCT SHEET



Public Representations – 2 letters of Support

25/00806/FLL

Alterations and extension to dwellinghouse, erection of a garage and plant building, installation of a retaining wall, alterations and extension to access road, formation of patio and associated works

Mr Michael Smith (Supports)

Comment submitted date: Fri 13 Jun 2025

The Boat of Murthly is a beautiful house and idyllic location, however it is clear that it requires investment to make it into a family home to preserve its future.

The Design and Access Statement clearly supports the owners goal to achieve this, at significant investment to protect a listed building.

I believe this should be supported so that unique houses such as this, will enjoy and I purposeful future much like it was originally intended.

Mr Dale Golder (Supports)

Comment submitted date: Thu 12 Jun 2025

I'm writing to express my support for this planning application that has been submitted and also the Listed building application at The Boat of Murthly, Dunkeld.

The proposal aims to restore the building's facade while updating part of the interior by importantly making full use as a detached family dwelling and providing a connection on the first floor. this will not only preserve the architectural integrity of the Listed building but also ensure its longevity and relevance for future generations be careful balance between conservation and innovation in this application is commendable by retaining the building historic features and incorporating sustainable design elements, including a ground heat source pump the proposal respect the Properties heritage while meeting contemporary needs.

I believe this will enhance the local cultural landscape and contribute positively to the community.

I urge the planning authority to consider the long-term benefits of this application and its potential to revitalise this Listed building for the future and support this application.

**The Planning (Listed Buildings and Conservation
Areas) (Scotland) Act 1997
The Planning (Listed Building Consent and
Conservation Area Consent Procedure)
(Scotland) Regulations 2015**

NOTICE IS HEREBY GIVEN that application has been made to PERTH AND KINROSS COUNCIL as Planning Authority for

Erection of a garage and plant building, installation of a retaining wall, alterations and extension to access road, formation of patio and associated works at Boat Of Murthly Dunkeld PH8 0JA

Application Reference 25/00806/FLL

Details and plans submitted may be inspected online at www.pkc.gov.uk using the Planning application reference as above. Internet access may be available for viewing applications at local libraries. In the case of any special circumstances please contact 01738 475000 for further assistance.

Any person wishing to make representations about the application should do so in writing by emailing Developmentmanagement@pkc.gov.uk or by writing to the address as above within **21 days** of the date of the publication of this notice.

The date of publication of this Notice is **6th June 2025**

Kristian Smith
Development Management & Building Standards Service Manager

Listed Building

The only legal part of the listing under the Planning (Listing Buildings and Conservation Areas) (Scotland) Act 1997 is the address/name of site. Addresses and building names may have changed since the date of listing – see 'About Listed Buildings' below for more information. The further details below the 'Address/Name of Site' are provided for information purposes only.

Address/Name of Site

BOAT OF MURTHLY

LB4456

Status: Designated

Documents

There are no additional online documents for this record.

Summary

Category
B

Local Authority
Perth And Kinross

NGR
NO 06224 39794

Date Added
09/06/1981

Planning Authority
Perth And Kinross

Coordinates
306224, 739794

Parish
Caputh

Description

Semi-detached rubble cottages, centre part single storey with dormers, 6-arch stone loggia in front between 2-storey

end bays. c. 1850. Picturesque.

References

Bibliography

No Bibliography entries for this designation

About Listed Buildings

Historic Environment Scotland is responsible for designating sites and places at the national level. These designations are Scheduled monuments, Listed buildings, Inventory of gardens and designed landscapes and Inventory of historic battlefields.

We make recommendations to the Scottish Government about historic marine protected areas, and the Scottish Ministers decide whether to designate.

Listing is the process that identifies, designates and provides statutory protection for buildings of special architectural or historic interest as set out in the Planning (Listed Buildings and Conservation Areas) (Scotland) Act 1997.

We list buildings which are found to be of special architectural or historic interest using the selection guidance published in [Designation Policy and Selection Guidance \(2019\)](#)

Listed building records provide an indication of the special architectural or historic interest of the listed building which has been identified by its statutory address. The description and additional information provided are supplementary and have no legal weight.

These records are not definitive historical accounts or a complete description of the building(s). If part of a building is not described it does not mean it is not listed. The format of the listed building record has changed over time. Earlier records may be brief and some information will not have been recorded.

The legal part of the listing is the address/name of site which is known as the statutory address. Other than the name or address of a listed building, further details are provided for information purposes only. Historic Environment Scotland does not accept any liability for any loss or damage suffered as a consequence of inaccuracies in the information provided. Addresses and building names may have changed since the date of listing. Even if a number or name is missing from a listing address it will still be listed. Listing covers both the exterior and the interior and any object or structure fixed to the building. Listing also applies to buildings or structures not physically attached but which are part of the curtilage (or land) of the listed building as long as they were erected before 1 July 1948.

While Historic Environment Scotland is responsible for designating listed buildings, the planning authority is responsible for determining what is covered by the listing, including what is listed through curtilage. However, for listed

buildings designated or for listings amended from 1 October 2015, legal exclusions to the listing may apply.

If part of a building is not listed, it will say that it is excluded in the statutory address and in the statement of special interest in the listed building record. The statement will use the word 'excluding' and quote the relevant section of the 1997 Act. Some earlier listed building records may use the word 'excluding', but if the Act is not quoted, the record has not been revised to reflect subsequent legislation.

Listed building consent is required for changes to a listed building which affect its character as a building of special architectural or historic interest. The relevant planning authority is the point of contact for applications for listed building consent.

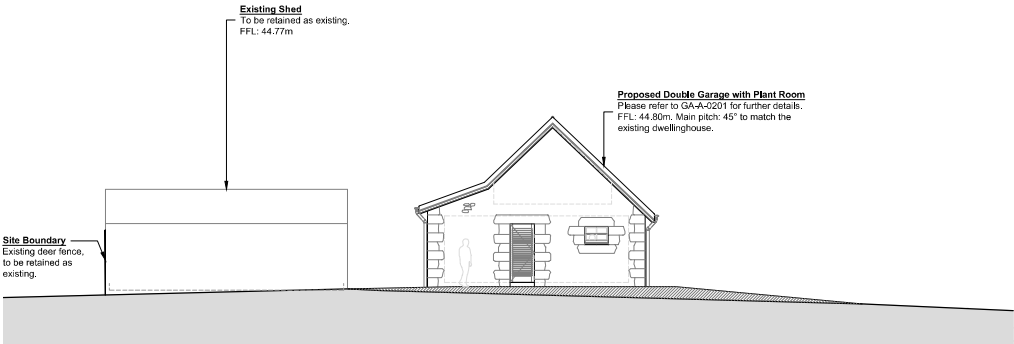
Find out more about listing and our other designations at www.historicenvironment.scot/advice-and-support. You can contact us on 0131 668 8914 or at designations@hes.scot.

Images

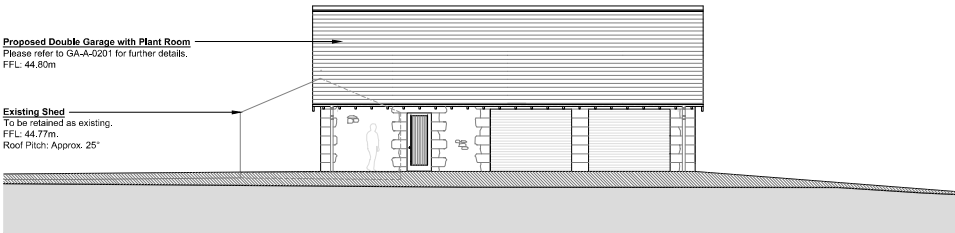
There are no images available for this record.

Printed: 05/09/2025 11:23

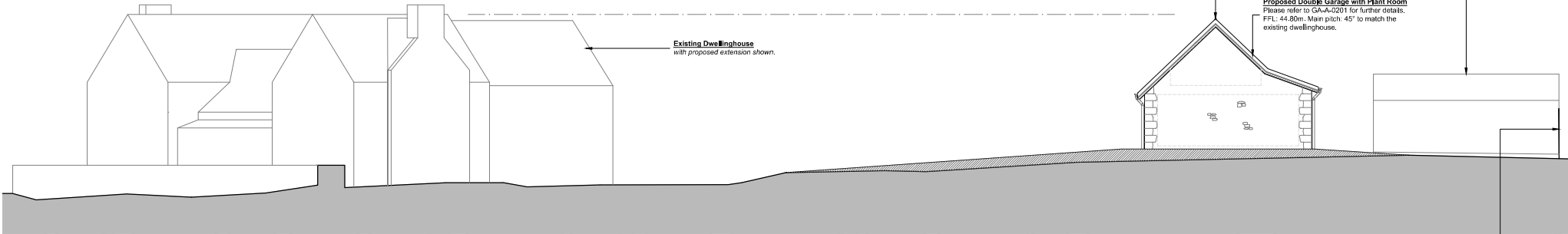
Boat of Murthly, Dunkeld
New Double Garage with Plant Room
Proposed Site Sections / Elevations



Proposed Site Section A - North-West Elevation
Scale 1:100 @ A1



Proposed Site Section B - South-West Elevation
Scale 1:100 @ A1

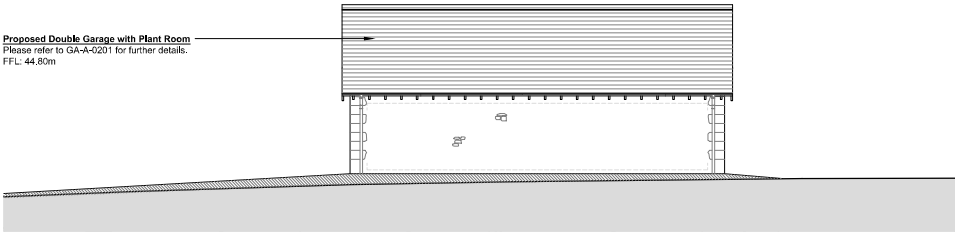


Proposed Site Section C - South-East Elevation
Scale 1:100 @ A1

NOTE
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Proposed Site Section D - North-East Elevation
Scale 1:100 @ A1

New Double Garage with Plant Room
Proposed Site Sections / Elevations
Scale 1:100 @ A1



P04	Updates following client and planning consultant meeting.	AK	08.05.25
P03	General updates to drawing following planning withdrawal.	AK	01.05.25
P02	GF FFL updated to suit FRA.	AK	Feb '25
P01	First Issue.	AK	Jan '25

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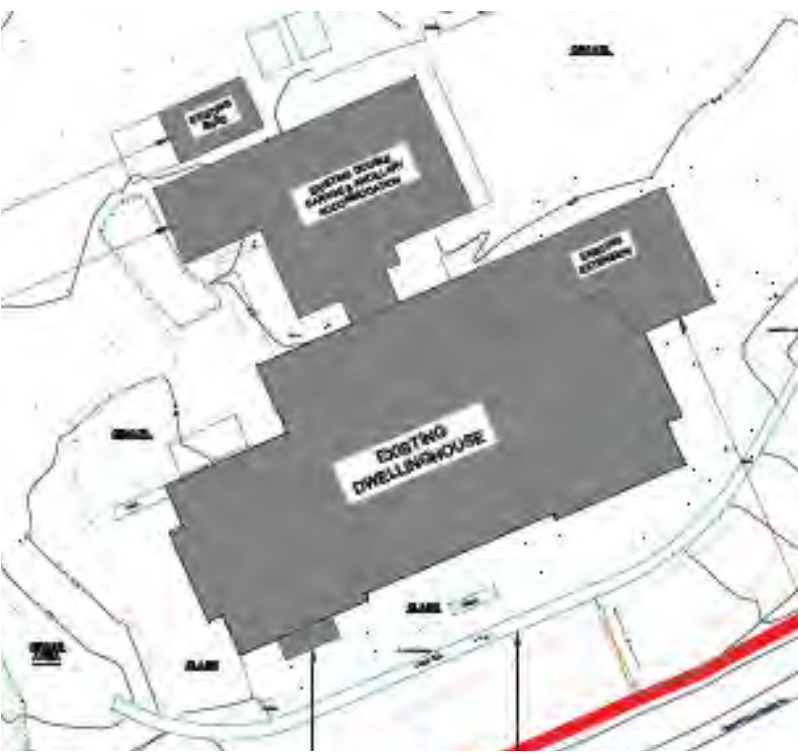
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Boat of Murthly, Dunkeld
CLIENT Ms J. Maude
DWG TITLE New Double Garage with Plant Room:
Proposed Site Sections / Elevations

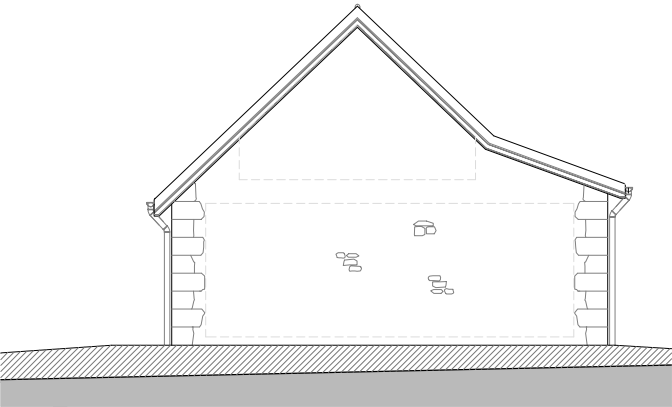
JOB NO. 2865_01
AS SCALE 1:100
STATUS RBA STAGE 3

PROJECT	CLIENT	ZONE	LEVEL	TYPE	ROLE	DRG NO.	REV
BOM	SAB	AA	XX	GA	A	0210	P05

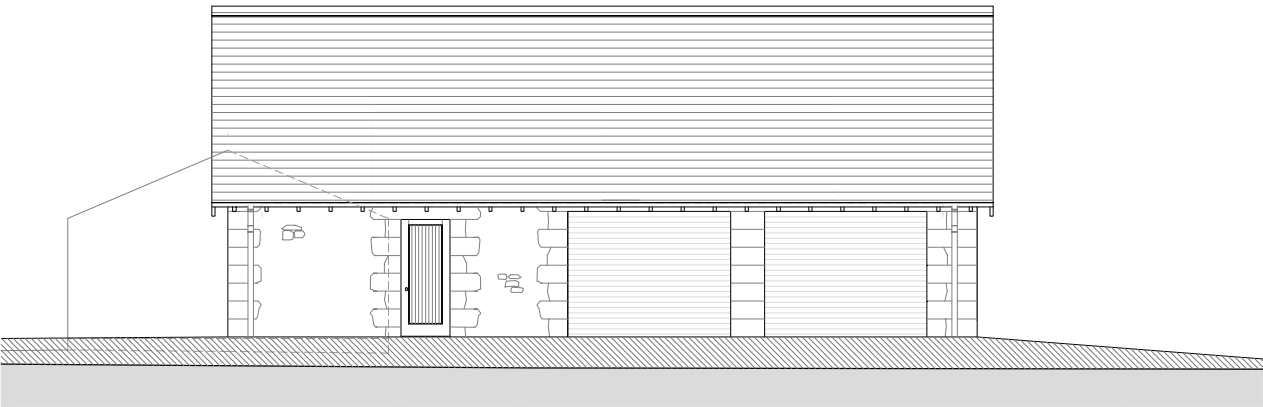
Extract footprint, aerial and existing and proposed site plan extract



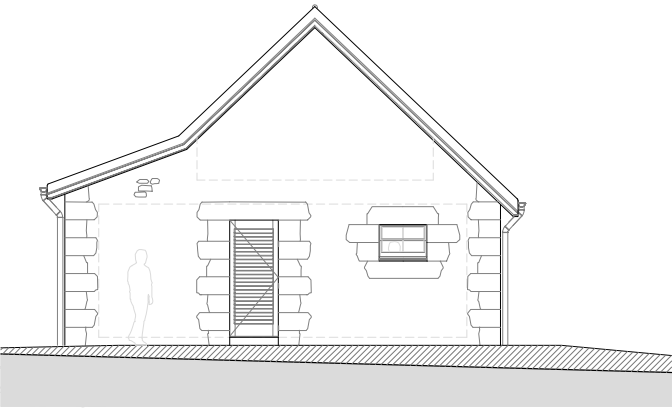
Boat of Murthly, Dunkeld
New Double Garage with Plant Room
Proposed Elevations



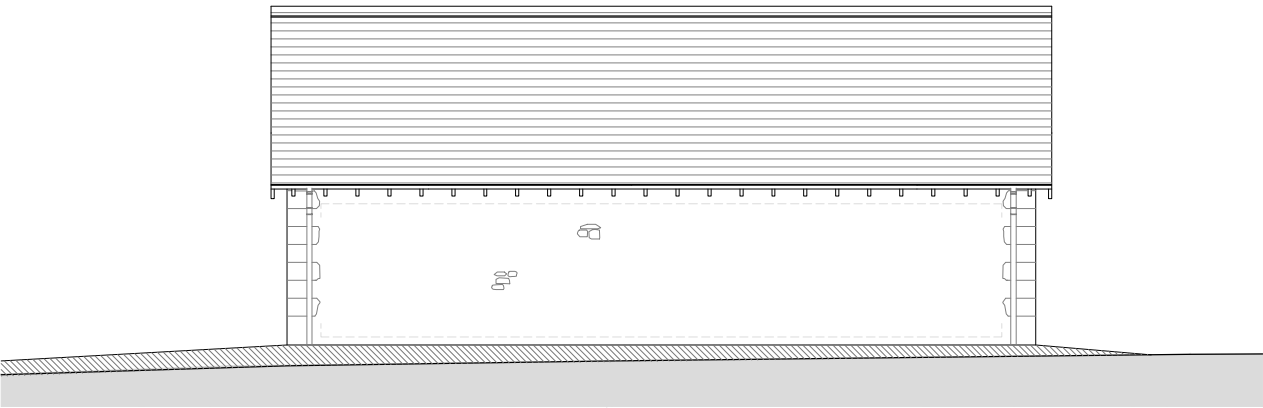
Proposed South-East Elevation
Scale 1:50 @ A1



Proposed South-West Elevation
Scale 1:50 @ A1



Proposed North-West Elevation
Scale 1:50 @ A1



Proposed North-East Elevation
Scale 1:50 @ A1

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- PROPOSED BUILDING MATERIALS**
- External Walls: Stone, to match existing dwellinghouse
 - Roof: Slate
 - Windows: Painted timber
 - Doors: Painted timber
 - Rainwater Goods - Painted cast iron

P06	Updates following client and planning consultant meeting.	AK	08.05.25
P05	General updates to drawing following planning withdrawal.	AK	01.05.25
P04	GF FFL updated to suit FRA.	AK	Feb '25
P03	General update to align with revised site position.	AK	Jan '25
P02	Updated following client meeting [13.08], and internal review.	AK	15.08.24
P01	First issue.	AK	08.08.24
P07	Minor updates to drawings. Building move back 1m.	AK	20.05.25

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JOB NO.
2865_01

AT SCALE
1:50

STATUS
RBA STAGE 3

JOB TITLE
Boat of Murthly, Dunkeld

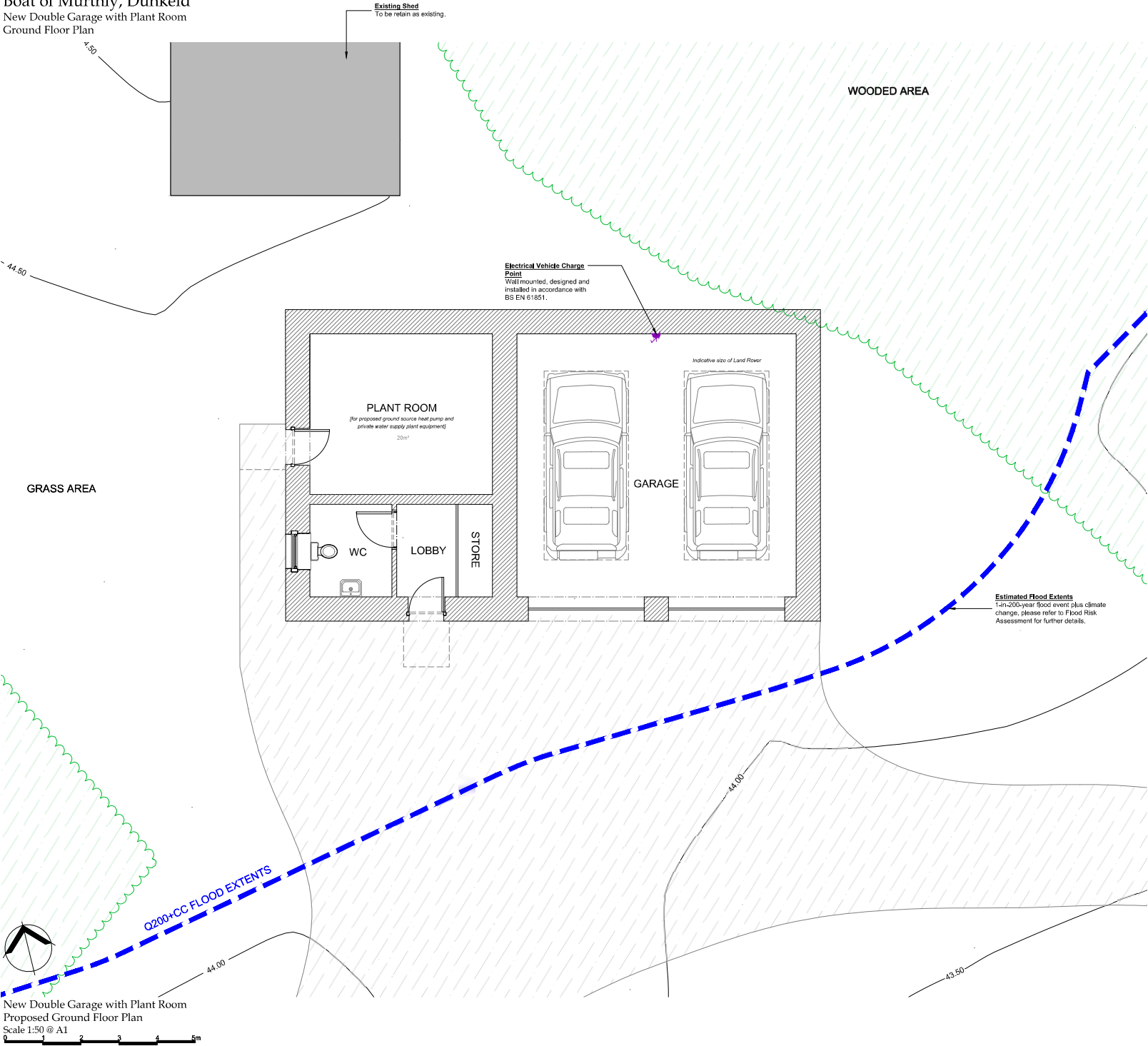
CLIENT
Ms J. Maude

DWG TITLE
New Double Garage with Plant Room: Proposed Elevations

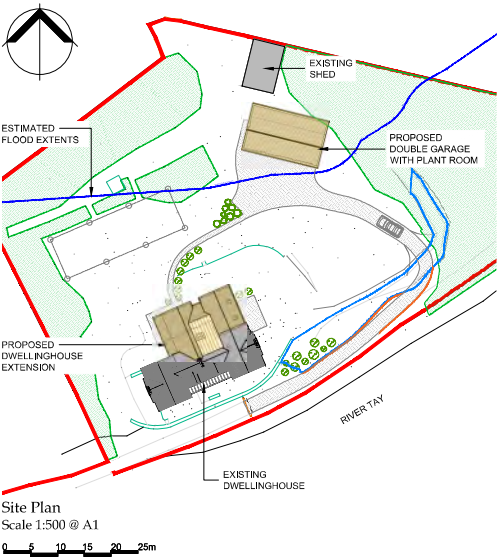
PROJECT
BOM - SAB - AA - XX - GA - A - 0201

REV
P07

Boat of Murthly, Dunkeld
New Double Garage with Plant Room
Ground Floor Plan



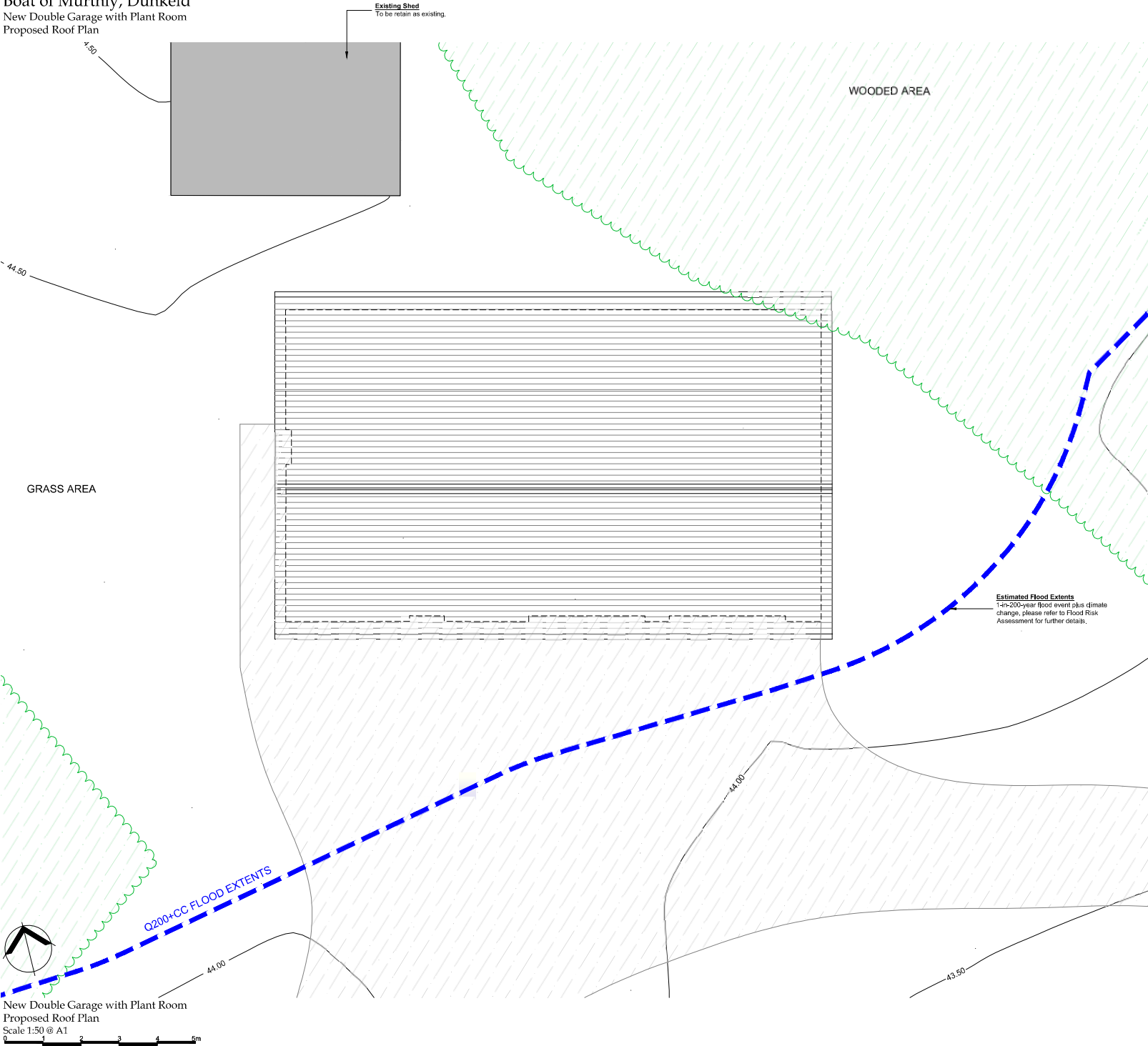
NOTE
Do not scale from this drawing for construction purposes - all dimensions should be checked on site by the contractor prior to construction and discrepancies notified to the architect immediately.
This drawing should be read in conjunction with the architect's drawings, specification and schedules, and those provided by the other consultants.
For information on known hazards and general health & safety issues prior to work on site, reference should be made to the Pre-Construction Health & Safety Pack.



- PROPOSED BUILDING MATERIALS**
- External Walls: Stone, to match existing dwellinghouse
 - Roof: Slate
 - Windows: Painted timber
 - Doors: Painted timber
 - Rainwater Goods - Painted cast iron

P10	Electrical vehicle charge point included on drawing.	AK	29.05.25
P09	Minor updates to drawing. Building moved back 1m.	AK	20.05.25
P08	Updates following client and planning consultant meeting.	AK	08.05.25
P07	General updates to drawing following planning withdrawal.	AK	01.05.25
P06	'Key' site plan updated to show red line site boundary.	AK	13.02.25
P05	General updates to suit Flood Risk Assessment discussions.	AK	Jan '25
P04	Updated following client meeting [13.08], and internal review.	AK	15.08.24
P03	Updated following client meeting [24.07], and internal review.	AK	08.08.24
P02	Updated to suit client feedback [22.07] for the first floor.	AK	24.07.24
P01	First issue.	AK	18.07.24

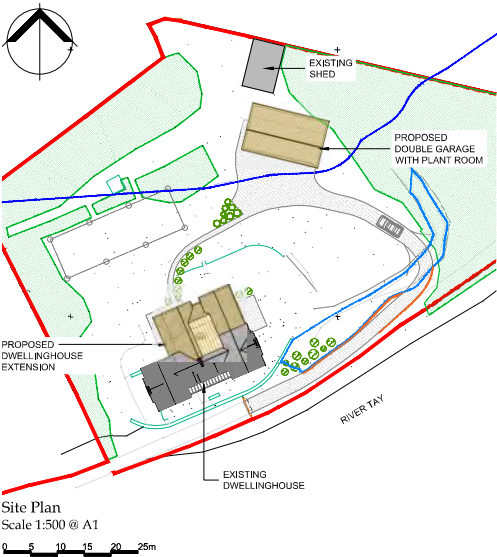
Boat of Murthly, Dunkeld
New Double Garage with Plant Room
Proposed Roof Plan



NOTE
Do not scale from this drawing for construction purposes - all dimensions should be checked on site by the contractor prior to construction and discrepancies notified to the architect immediately.

This drawing should be read in conjunction with the architect's drawings, specification and schedules, and those provided by the other consultants.

For information on known hazards and general health & safety issues prior to work on site, reference should be made to the Pre-Construction Health & Safety Pack.



- PROPOSED BUILDING MATERIALS**
- External Walls: Stone, to match existing dwellinghouse
 - Roof: Slate
 - Windows: Painted timber
 - Doors: Painted timber
 - Rainwater Goods - Painted cast iron

Estimated Flood Extents
14+200-year flood event plus climate change, please refer to Flood Risk Assessment for further details.

P04	Minor updates to drawing. Building moved back 1m.	AK	20.05.25
P03	General updates to drawing following planning withdrawal.	AK	08.05.25
P02	'Key' site plan updated to show red line site boundary.	AK	13.02.25
P01	First Issue.	AK	Jan '25

Simpson & Brown
www.simpsonandbrown.co.uk
The Old Printworks, 77a Brunswick Street, Edinburgh, EH1 7 5HS
admin@simpsonandbrown.co.uk 0131 555 4678

Boat of Murthly, Dunkeld
Ms J. Maude
New Double Garage with Plant Room:
Proposed Roof Plan

JOB NO. 2865_01
A1 SCALE 1:50
STATUS RBA STAGE 3

PROJECT	URBAN	ZONE	LEVEL	TYPE	ROLE	DRG NO.	REV
BOM	SAB	AA	RP	GA	A	0110	P04

Architecture Heritage Consultancy Archaeology

Memorandum

To Development Management & Building
Standards Service Manager

From Regulatory Services Manager

Your ref 25/00806/FLL

Our ref LJA

Date 16 June 2025

Tel No 01738 475248

Housing and Communities

Pullar House, 35 Kinnoull Street, Perth PH1 5GD

Consultation on an Application for Planning Permission

25/00806/FLL RE: Erection of a garage and plant building, installation of a retaining wall, alterations and extension to access road, formation of a patio and associated works at Boat of Murthly, Dunkeld, PH8 0JA for Ms J Maude

I refer to your letter dated 6 June 2025 in connection with the above application and have the following comments to make.

Environmental Health

Recommendation

I have no objections to the application but recommend the undernoted condition be included in any given consent.

Comments

The applicant proposes to erect a plant and garage building, install a retaining wall and extend an access track. The garage and plant room will be located in the North East corner of the site and will serve the dwellinghouse at the site. The plant room will house plant for the ground source heat pump system and also plant associated with the private water supply.

Noise

Plant

It is my contention that noise from the development would not adversely affect residential amenity of nearby dwellinghouses provided the plant equipment is adequately sited and maintained.

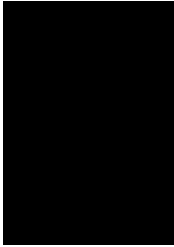
The World Health Organisation (WHO) issued guidance in 1999 in relation to noise, at which time it was recommended that the following sound levels should be maintained: Leq50-55dB(A) in outdoor living areas, Leq35dB(A) in internal living areas and Leq30dB(A) in bedrooms. This guidance is consistent with BS8233:2014 which recommends the following sound level ranges: Leq30-40dB(A) in living areas and Leq30-35dB(A) in bedrooms. Given the distance attenuation to neighbouring properties these levels should be achievable for airborne noise.

The sound levels recommended in the guidance do not consider the relative noise level at octave frequency bands. Fixed plant of this type can create noise which has characteristics that are not adequately quantified by means of a Leq limit. I therefore recommend that an additional condition, based on Noise Rating, be included on any given consent to protect residential amenity.

I recommend the following condition be attached to any given consent.

Condition

EH10 All plant or equipment shall be so enclosed, attenuated and/or maintained such that any noise therefrom shall not exceed Noise Rating 35 between 0700 and 2300 hours daily, or Noise Rating 25 between 2300 and 0700 hours daily, within any neighbouring residential property, with all windows slightly open, when measured and/ or calculated and plotted on a rating curve chart.



Comments to the Development Quality Manager on a Planning Application

Planning Application ref.	25/00806/FLL	Comments provided by	Simon Terkura
Service/Section	HE/Flooding	Contact Details	
Description of Proposal	Erection of a garage and plant building, installation of a retaining wall, alterations and extension to access road, formation of patio and associated works		
Address of site	Boat Of Murthly Dunkeld PH8 0JA		
Comments on the proposal	No Objection- The development is be supported under NPF4 Policy 22(a)(iii).		
Recommended planning condition(s)	N/A		
Recommended informative(s) for applicant	The applicant is advised to refer to Perth & Kinross Council's Supplementary guidance on Flood Risk and Flood Risk Assessments 2021 as it contains advice relevant to your development.		
Date comments returned	11/07/2025		

Comments to the Development Quality Manager on a Planning Application

Planning Application ref.	25/00806/FLL	Comments provided by	Joanna Dick Tree and Biodiversity Officer
Service/Section	Strategy and Policy	Contact Details	Phone 75377 Email biodiversity@pkc.gov.uk
Description of Proposal	Erection of a garage and plant building, installation of a retaining wall, alterations and extension to access road, formation of patio and associated works		
Address of site	Boat Of Murthly, Dunkeld, PH8 0JA		
Comments on the proposal	NPF4 Policy 4 Natural Places f) Development proposals that are likely to have an adverse effect on species protected by legislation will only be supported where the proposal meets the relevant statutory tests. All bat species found in Scotland are classed as European protected species. They receive full protection under the Conservation (Natural Habitats, &c.) Regulations 1994 (as amended) making it an offence to disturb a bat in a roost, obstruct access to a roost and damage or destroy a breeding or resting place of such an animal. The impact of development on protected species must be understood before planning permission can be granted. All methods in the submitted Bat Survey Report are in accordance with best practice. Activity surveys carried out in June 2024 confirmed the presence of bats. Due to the presence of bat roosts, no works can be undertaken before a derogation licence from NatureScot (formerly Scottish Natural Heritage) has been issued. The submitted Bat Survey Report contains sufficient information for the planning authority to be satisfied that all three tests are likely to be met. The same tests need to be passed in order for NatureScot to issue a licence. <u>Breeding Birds</u> For all wild bird species in Great Britain, it is an offence to intentionally or recklessly kill, injure or take a bird; take, damage, destroy or interfere with a nest of any bird while it is in use or being built; or obstruct or prevent any bird from using its nest. The submitted Bat Survey Report notes the presence of nesting house sparrows, house martins, and swallows at the dwelling house and in the outbuildings. Retaining external wall and window nest sites is recommended. Nest boxes should be provided on the completed buildings as compensation for any destroyed nests. The submitted Bat Survey Report recommends there is potential to enhance roosting opportunities for bats by installing bat boxes and bird nesting		

	boxes. This is welcomed as a positive measure for biodiversity and should be provided to satisfy condition NE00. NPF4 Policy 6 Forestry, Woodland and Trees b) Development proposals will not be supported where they will result in: i. Adverse impacts on native woodlands, hedgerows and individual trees of high biodiversity value, or identified for protection in the Forestry and Woodland Strategy. The PKC Planning for Nature Supplementary Guidance Annex 1 sets out the requirements for tree and woodland surveys. The submitted Tree Survey Report is sparse. There is no plan plotting the trees and no tree protection plan. Conditions have been added below. <u>Conclusion</u> The submitted information is in accordance with legislation, policy and guidance.
Recommended planning condition(s)	If you are minded to approve the application then I recommend the following conditions be included in any approval: • TR04 Prior to the commencement of any works on site, all trees on site (other than those marked for felling on the approved plans) and those which have Root Protection Areas which fall within the site shall be retained and protected. Protection methods shall be strictly in accordance with BS 5837 2012: Trees in Relation to Design, Demolition and Construction. Protection measures, once in place, shall remain in place for the duration of construction. • TR10 All trees on site, other than those marked for felling on the approved plans, shall be retained. • NE00 The conclusions and recommended action points within the supporting biodiversity survey submitted and hereby approved (document(s) INSERT relates) shall be fully adhered to, respected and undertaken as part of the construction phase of development, to the satisfaction of the Council as Planning Authority. • NE02 An updated bat survey will be required prior to the commencement of works, if works have not commenced within 24 months of the date of the bat survey approved as part of this permission. The updated survey shall be submitted to the Council as Planning Authority for written agreement and works shall not commence until after such written agreement has been issued by the Council. • Prior to the completion or occupation of the building(s) hereby approved, whichever is the earlier, at least ten nest boxes suitable for house sparrows, house martins, and swallows shall be provided on the completed buildings. Thereafter, the agreed scheme shall be maintained in a reasonable condition for the life of the development, to the satisfaction of the Council as Planning Authority.

Recommended informative(s) for applicant	BIOB The proposed demolition and/or building works likely to cause harm to bats should not commence until the applicant has obtained the relevant licence issued by NatureScot pursuant to Regulation 53 of The Conservation of Habitats and Species Regulations 2010 authorizing the specified activity/development to go ahead. BION Existing buildings or structures may contain nesting birds between 1st March and 31st August inclusive. The applicant is reminded that, under the Wildlife and Countryside Act 1981, as amended (section 1), it is an offence to remove, damage or destroy the nest of any wild bird while that nest is in use or being built. Planning permission for a development does not provide a defence against prosecution under this Act.
Date comments returned	2 July 2025



To:	Andrew Rennie, Planning Officer
From:	Sophie Nicol, Historic Environment Manager
Tel:	01738 477027
Email:	Sophie.Nicol@pkht.org.uk
Date:	19th June 2025

25/00806/FLL Erection of a garage and plant building, installation of a retaining wall, alterations and extension to access road, formation of patio and associated works Boat Of Murthly Dunkeld PH8 0JA

Thank you for consulting PKHT on the above application.

With respect to archaeology and the planning process, as outlined by NPF4, the proposed development does not raise any significant issues. No further archaeological mitigation is required in this instance.

Thursday, 03 July 2025



Local Planner
Planning and Development
Perth and Kinross Council
Perth
PH1 5GD

Development Operations
The Bridge
Buchanan Gate Business Park
Cumbernauld Road
Stepps
Glasgow
G33 6FB

Development Operations
Freephone Number - 0800 3890379
E-Mail - DevelopmentOperations@scottishwater.co.uk
www.scottishwater.co.uk



Dear Customer,

Boat Of Murthly, Dunkeld, PH8 0JA

Planning Ref: 25/00806/FLL

Our Ref: DSCAS-0134688-87J

Proposal: Erection of a garage and plant building, installation of a retaining wall, alterations and extension to access road, formation of patio and associated works.

Please quote our reference in all future correspondence

Scottish Water has no objection to this planning application. The applicant should be aware that this does not confirm that the proposed development can currently be serviced.

Please read the following carefully as there may be further action required. Scottish Water would advise the following:

Water Assessment

- According to our records there is no public water infrastructure within the vicinity of this proposed development therefore we would advise applicant to investigate private options.

Foul Assessment

- According to our records there is no public waste water infrastructure within the vicinity of this proposed development therefore we would advise applicant to investigate private treatment options.

Please Note

The applicant should be aware that we are unable to reserve capacity at our water and/or waste water treatment works. When planning permission has been granted and a formal connection application has been submitted, we will review the availability of capacity at that time and advise the applicant accordingly.

Surface Water

For reasons of sustainability and to protect our customers from potential future sewer flooding, Scottish Water will not accept any surface water connections into our combined sewer system.

There may be limited exceptional circumstances where we would allow such a connection for brownfield sites only, however this will require significant justification from the customer taking account of various factors including legal, physical, and technical challenges.

In order to avoid costs and delays where a surface water discharge to our combined sewer system is anticipated, the developer should refer to our guides which can be found at <https://www.scottishwater.co.uk/Help-and-Resources/Document-Hub/Business-and-Developers/Connecting-to-Our-Network> which detail our policy and processes to support the application process, evidence to support the intended drainage plan should be submitted at the technical application stage where we will assess this evidence in a robust manner and provide a decision that reflects the best option from environmental and customer perspectives.

Next Steps:

Single house developments; unless utilising private water or drainage sources, are required to submit a Water Connection Application and Waste Water Application via our Customer Portal to allow us to fully appraise the proposals. Please note that Single House developments are not required to submit a Pre-Development Enquiry form (PDE) however local network capacity will be assessed on receipt of application forms.

Further information on our application and connection process for Single Household development can be found on our website <https://www.scottishwater.co.uk/Business-and-Developers/NEW-Connecting-to-Our-Network/Single-Household-Customers>

I trust the above is acceptable however if you require any further information regarding this matter, please contact me on **0800 389 0379** or via the e-mail address below or at planningconsultations@scottishwater.co.uk.

Yours sincerely,

Ruth Kerr

Development Services Analyst

PlanningConsultations@scottishwater.co.uk

Scottish Water Disclaimer:

"It is important to note that the information on any such plan provided on Scottish Water's infrastructure, is for indicative purposes only and its accuracy cannot be relied upon. When the exact location and the nature of the infrastructure on the plan is a material requirement then you should undertake an appropriate site investigation to confirm its actual position in the ground and to determine if it is suitable for its intended purpose. By using the plan you agree that Scottish Water will not be liable for any loss, damage or costs caused by relying upon it or from carrying out any such site investigation."

Supplementary Guidance

- Scottish Water asset plans can be obtained from our appointed asset plan providers:
 - Site Investigation Services (UK) Ltd
 - Tel: 0333 123 1223
 - Email: sw@sisplan.co.uk
 - www.sisplan.co.uk
- Scottish Water's current minimum level of service for water pressure is 1.0 bar or 10m head at the customer's boundary internal outlet. Any property which cannot be adequately serviced from the available pressure may require private pumping arrangements to be installed, subject to compliance with Water Byelaws. If the developer wishes to enquire about Scottish Water's procedure for checking the water pressure in the area, then they should write to the Development Operations department at the above address.
- If the connection to the public sewer and/or water main requires to be laid through land out-with public ownership, the developer must provide evidence of formal approval from the affected landowner(s) by way of a deed of servitude.
- Scottish Water may only vest new water or waste water infrastructure which is to be laid through land out with public ownership where a Deed of Servitude has been obtained in our favour by the developer.
- The developer should also be aware that Scottish Water requires land title to the area of land where a pumping station and/or a Sustainable Drainage System (SUDS) proposed to vest in Scottish Water is constructed.
- Please find information on how to submit application to Scottish Water at our Customer Portal

Perth and Kinross Council

List of Neighbours notified for 25/00806/FLL

Greystones
Boat Of Murthly
Dunkeld
PH8 0JA

Forest House
Dunkeld
PH8 0JA

Perth & Kinross Council

NEIGHBOUR NOTIFICATION

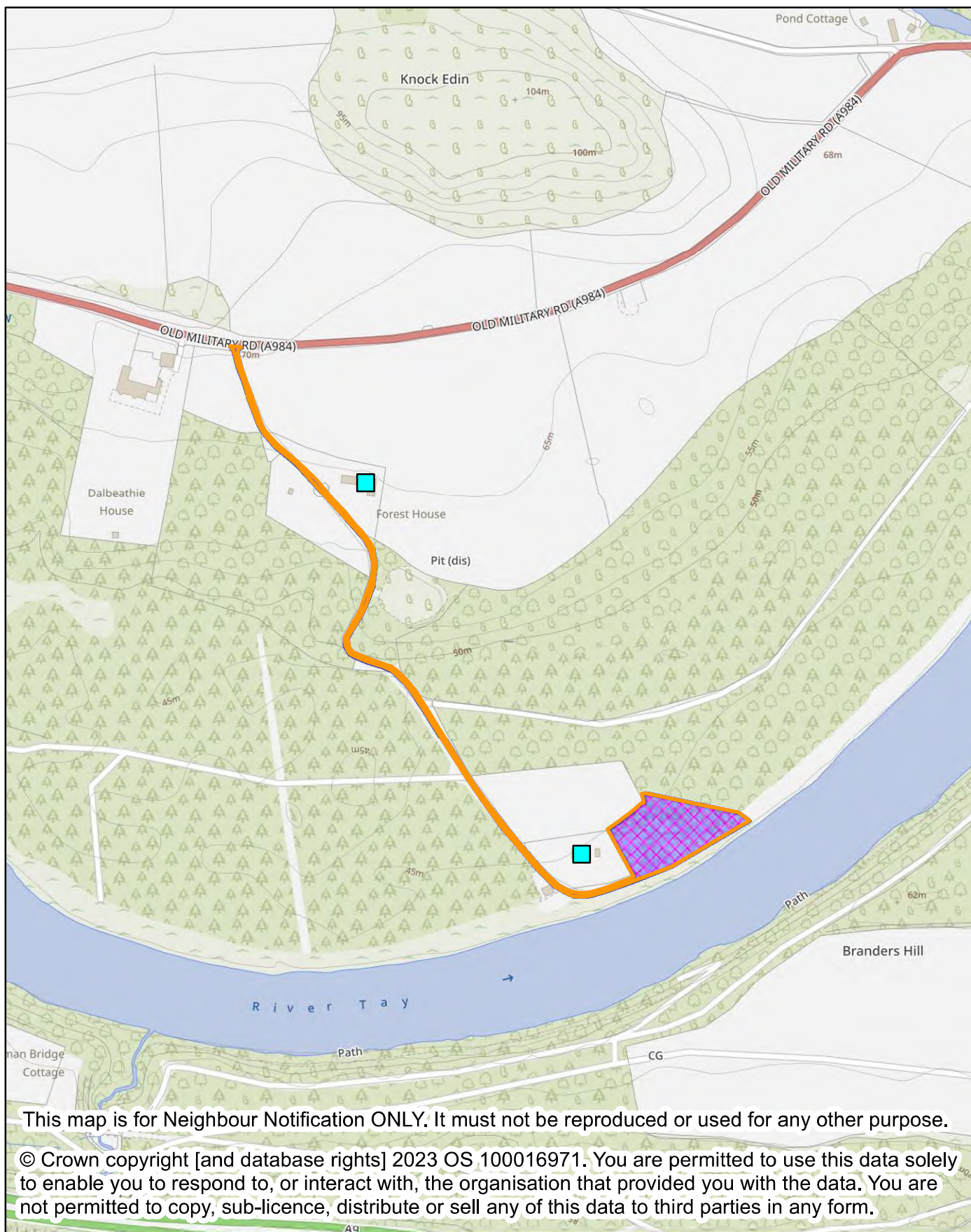
Location Plan showing planning application site



Perth & Kinross Council

NEIGHBOUR NOTIFICATION

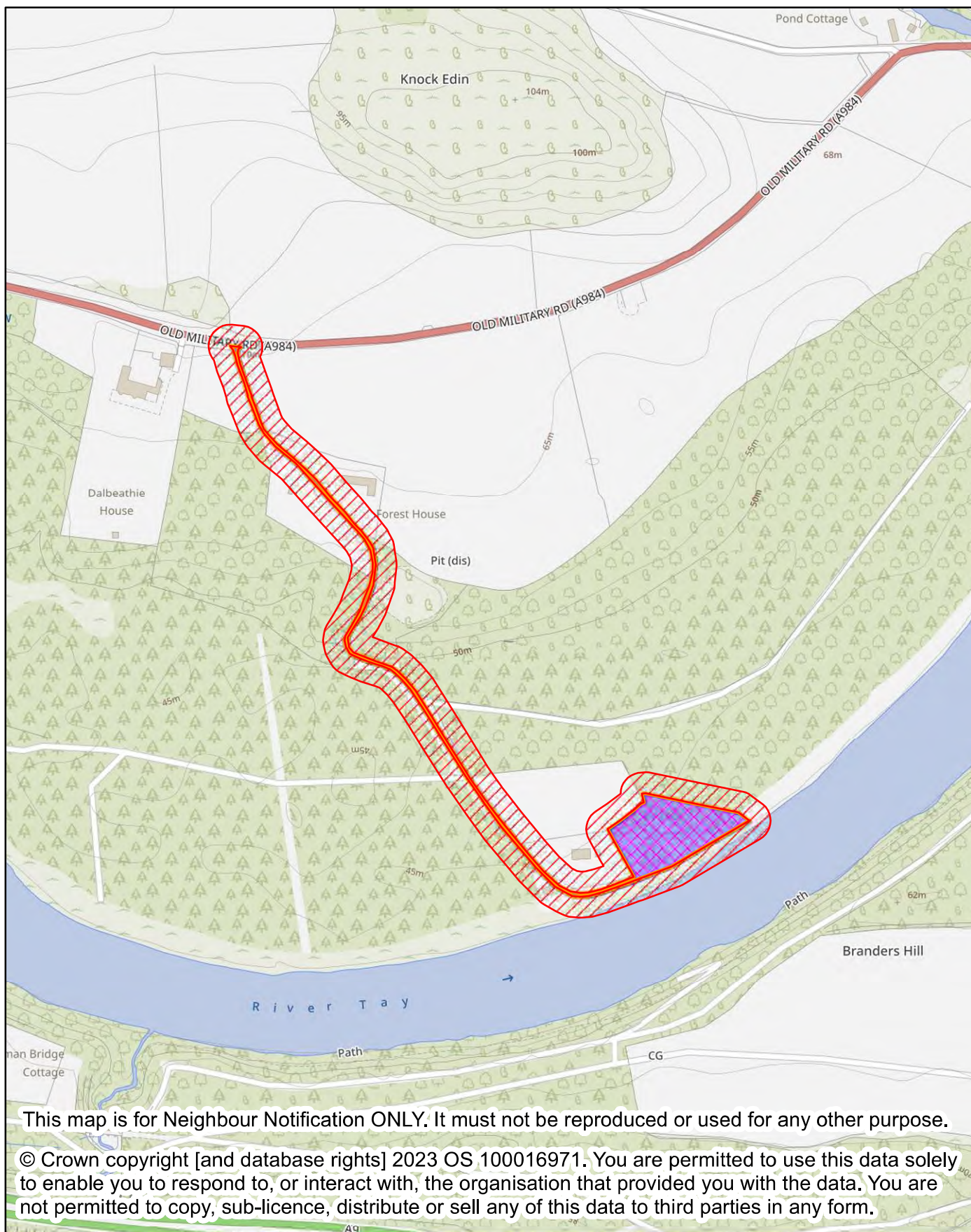
Location Plan showing planning application site



Perth & Kinross Council

NEIGHBOUR NOTIFICATION

Location Plan showing planning application site



Core Documents List

Planning Authority ref: 25/00806/FLL

Boat of Murthly, Dunkeld, PH8 0JA

- [Town and Country Planning \(Scotland\) Act 1997;](#)
- [Planning \(Listed Buildings and Conservation Areas\) \(Scotland\) Act 1997;](#)
- [National Planning Framework 4;](#)
- [PKC100 - Perth and Kinross Local Development Plan 2 – 2019;](#)
- [PKC309 - Placemaking Guide - Adopted 2020;](#)
- [Historic Environment Scotland Guidance – Interiors;](#)
- [Historic Environment Scotland Guidance – Windows;](#)
- [Historic Environment Scotland Guidance – Extensions;](#)
- [Historic Environment Scotland Guidance – Roofs;](#) and
- [Historic Environment Scotland Guidance – Setting.](#)